

**CYRENE AT FIDDYMENT**

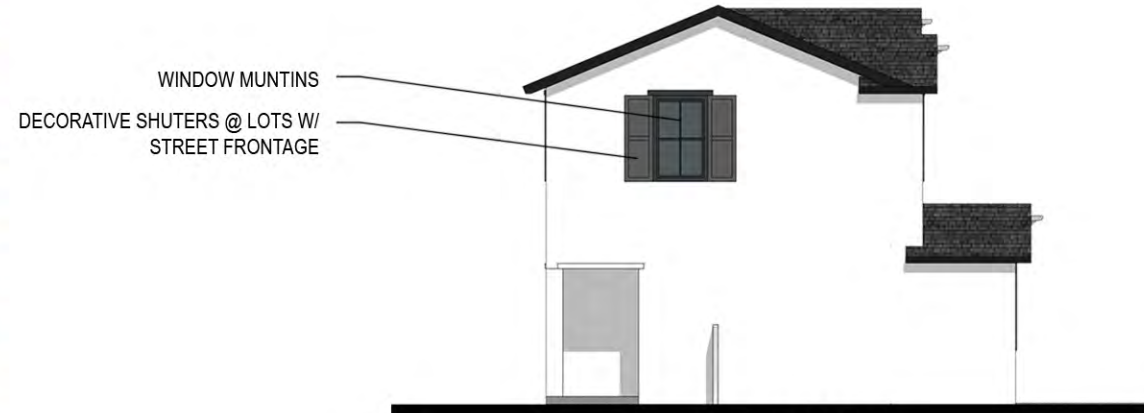
ROSEVILLE, CALIFORNIA

7.28.2020

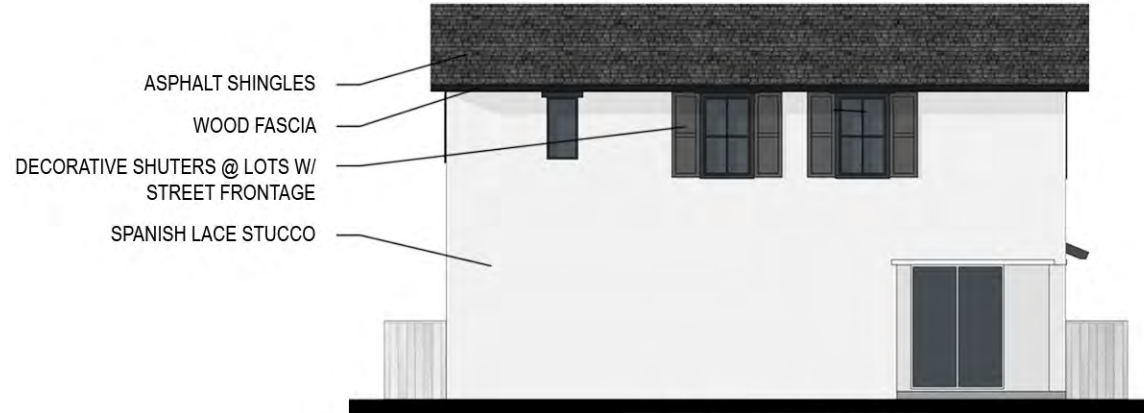
**curve**  
DEVELOPMENT



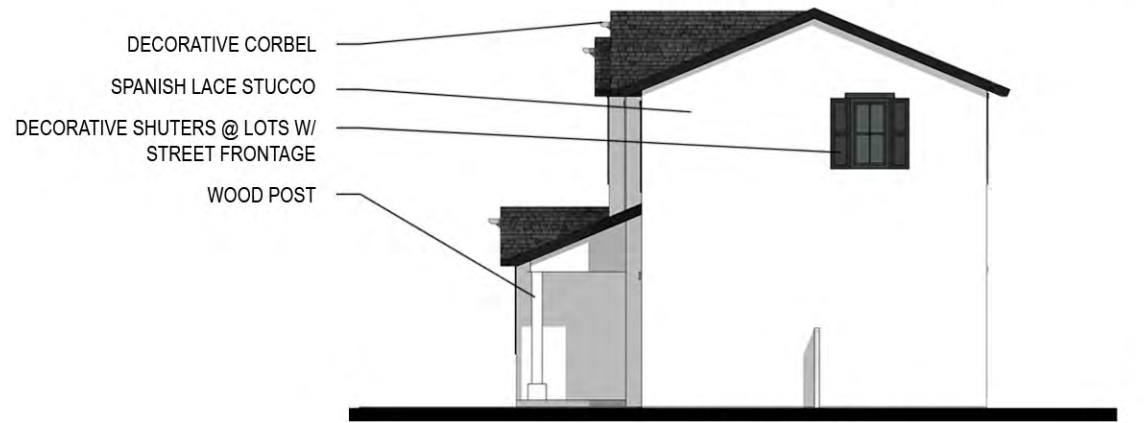
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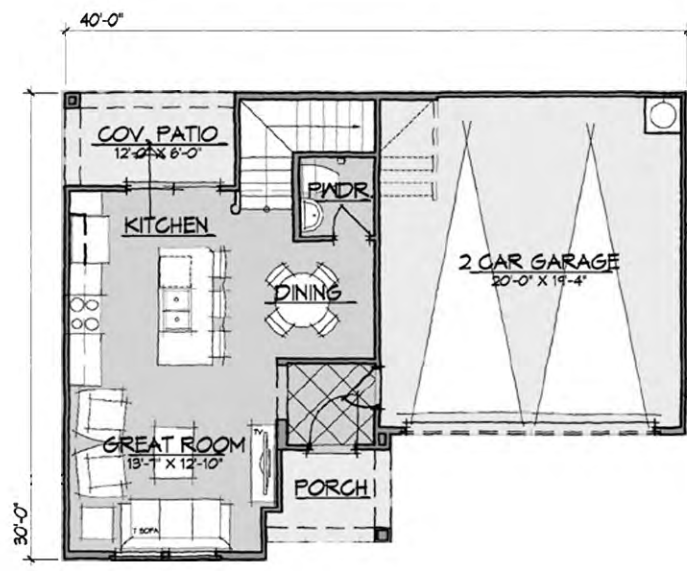
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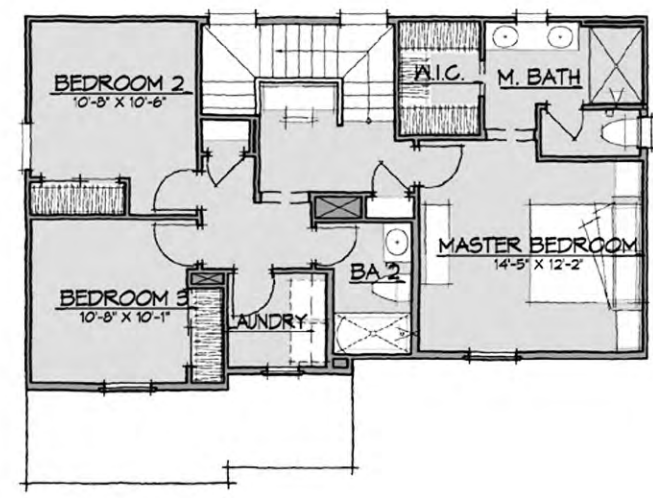
REAR ELEVATION



LEFT ELEVATION



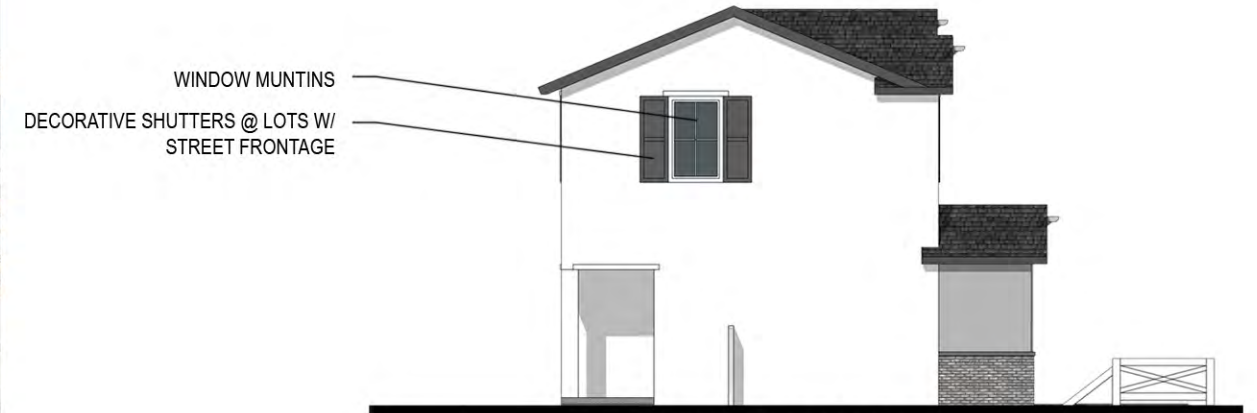
LOWER FLOOR PLAN



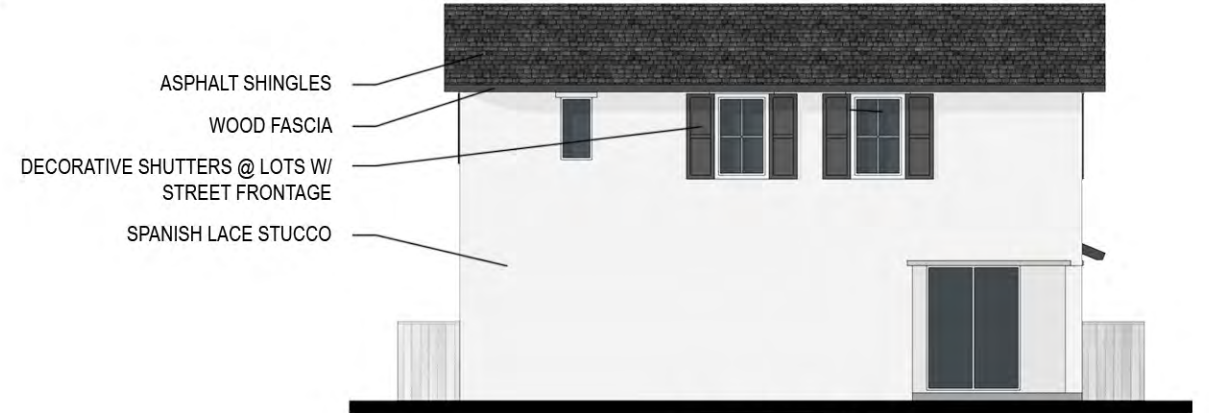
UPPER FLOOR PLAN



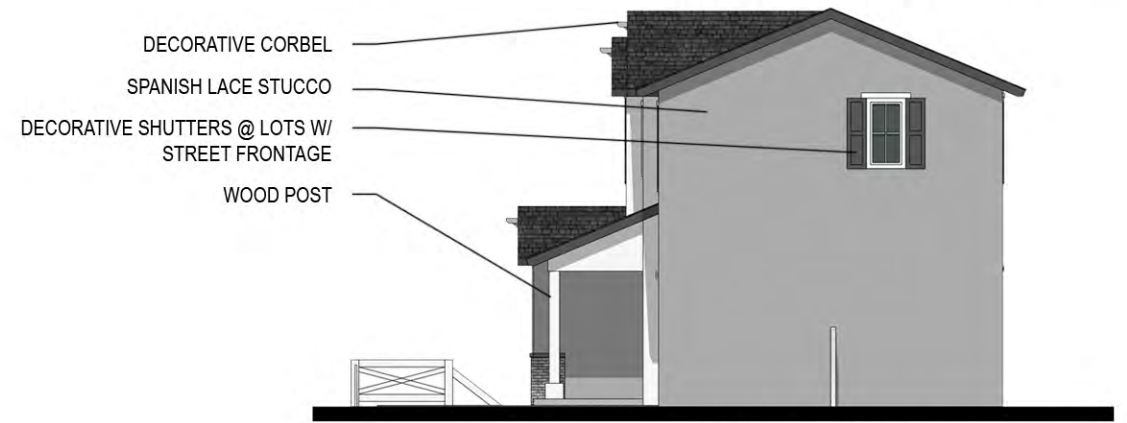
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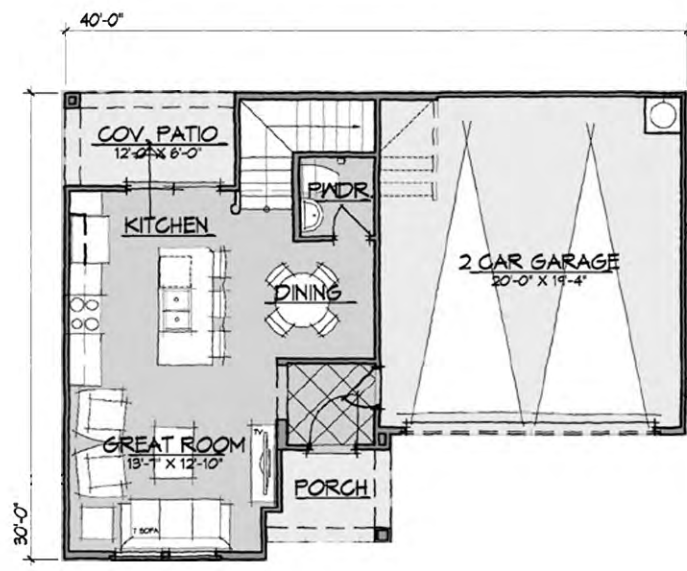
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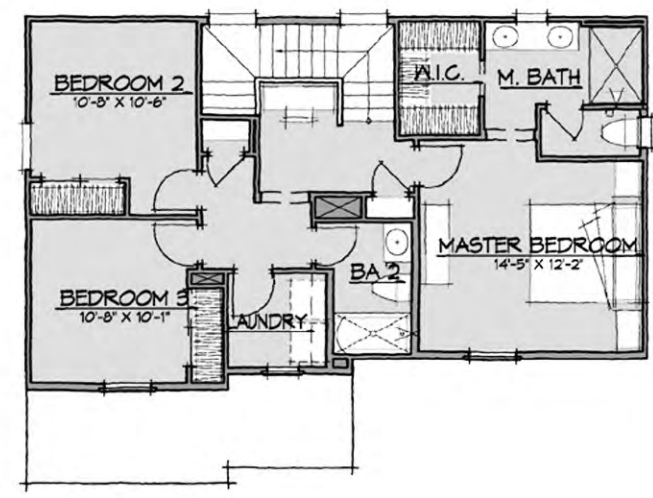
REAR ELEVATION



LEFT ELEVATION



LOWER FLOOR PLAN



UPPER FLOOR PLAN



FRONT ELEVATION



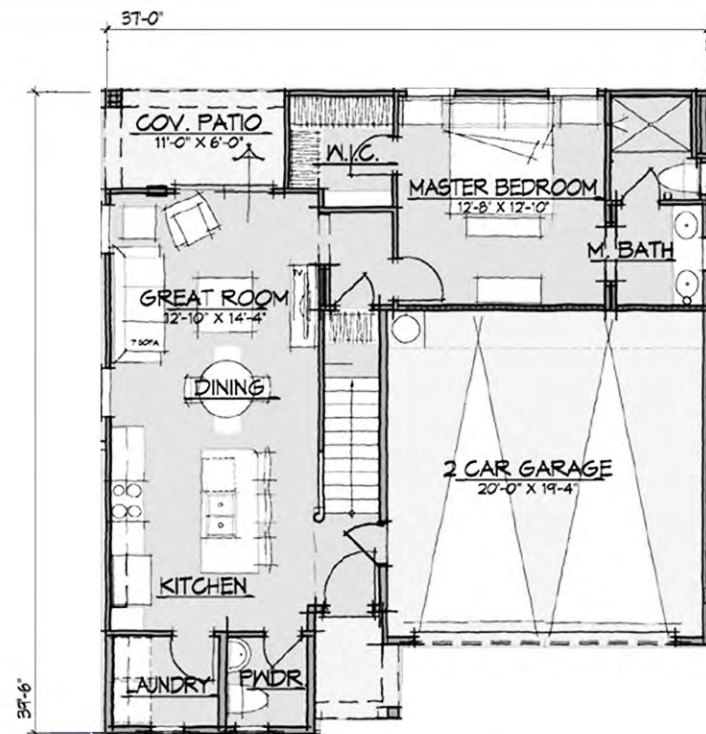
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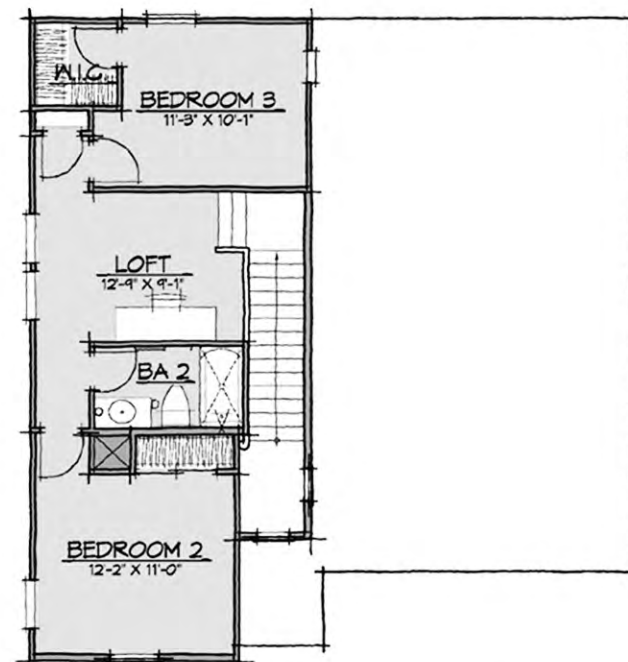
REAR ELEVATION



LEFT ELEVATION



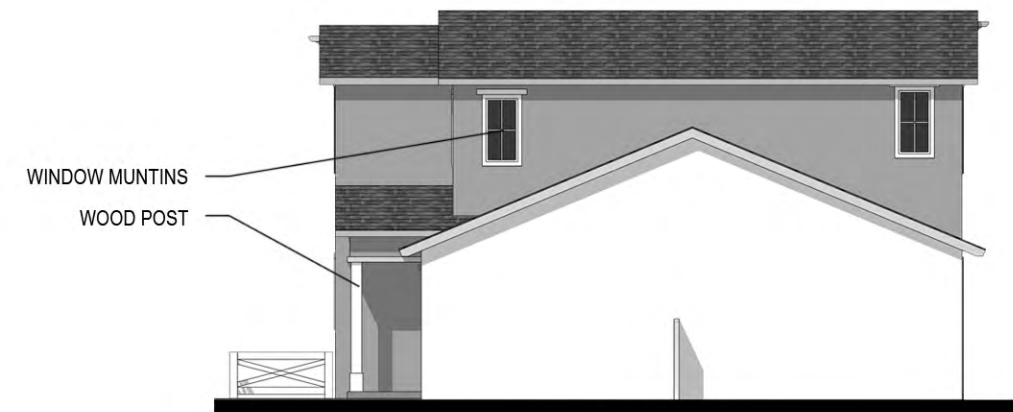
LOWER FLOOR PLAN



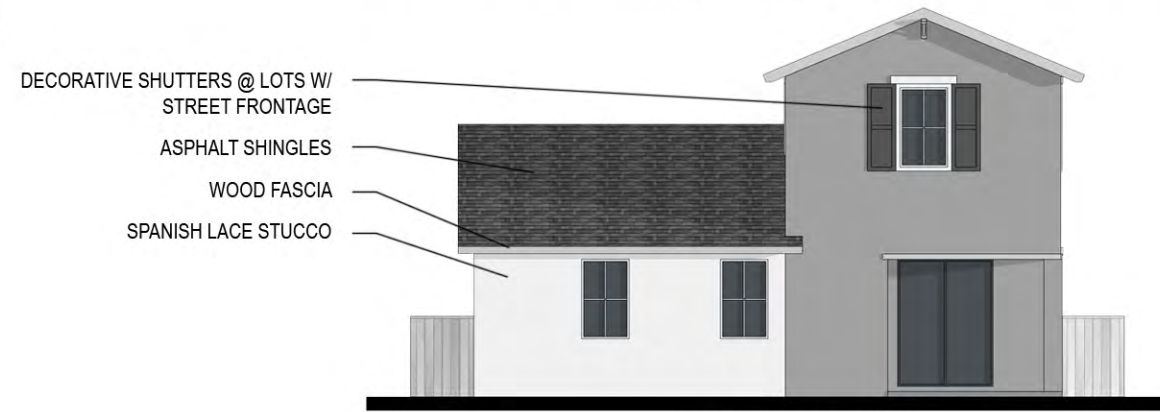
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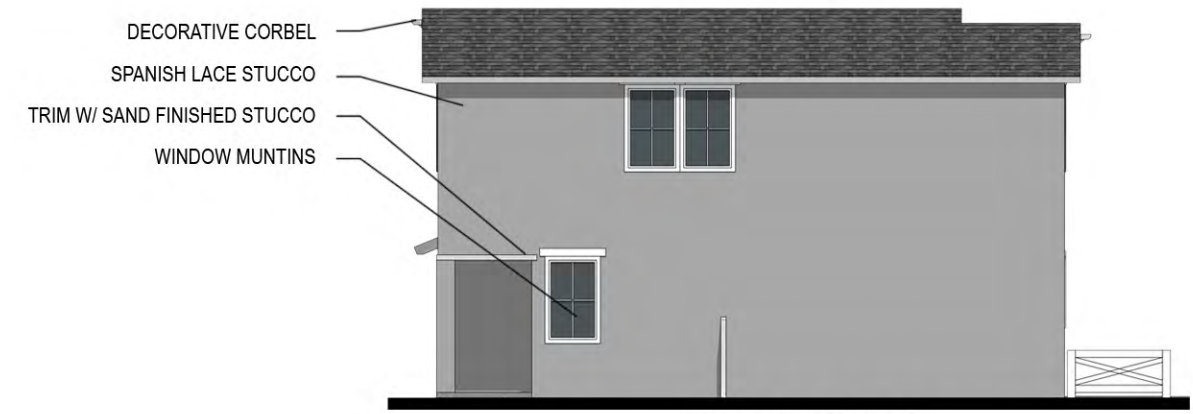
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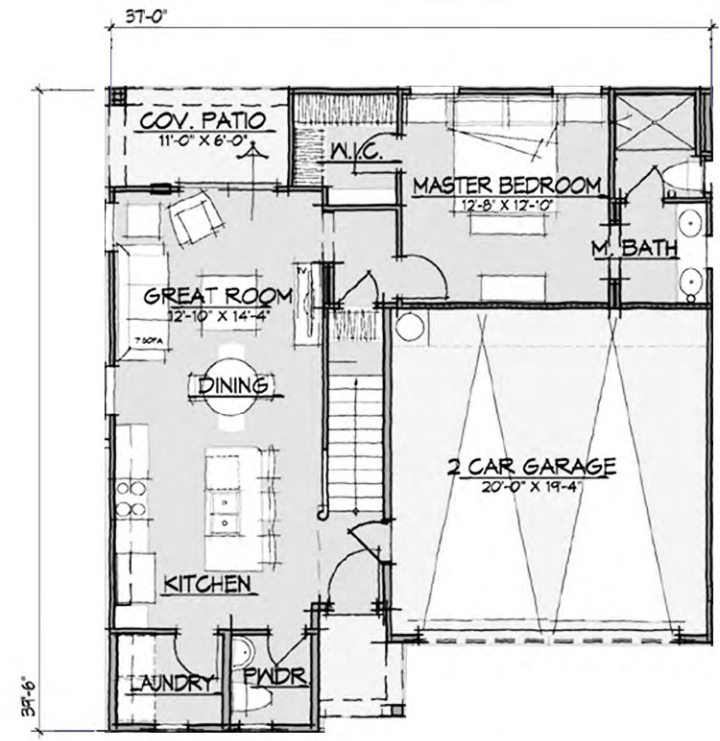
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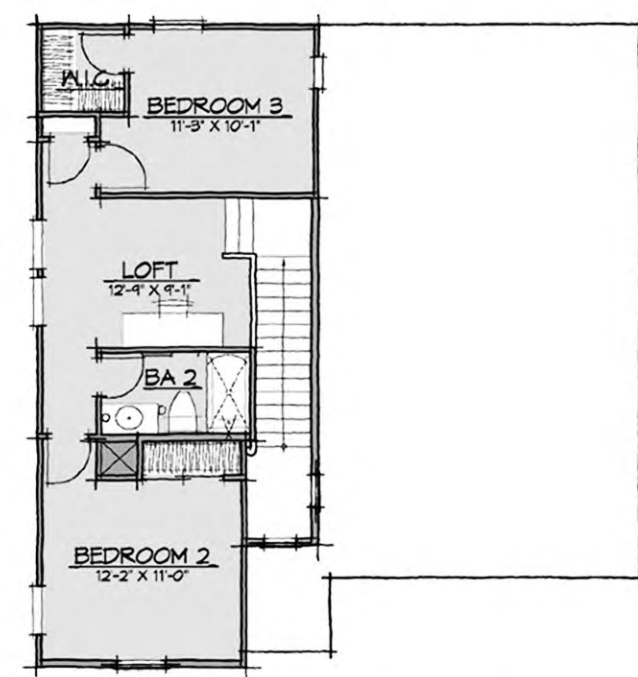
REAR ELEVATION



LEFT ELEVATION



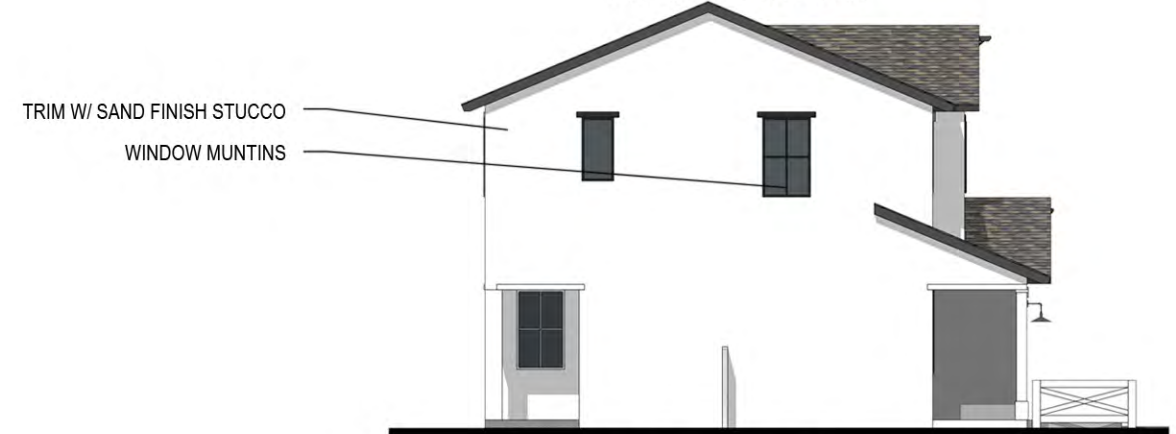
LOWER FLOOR PLAN



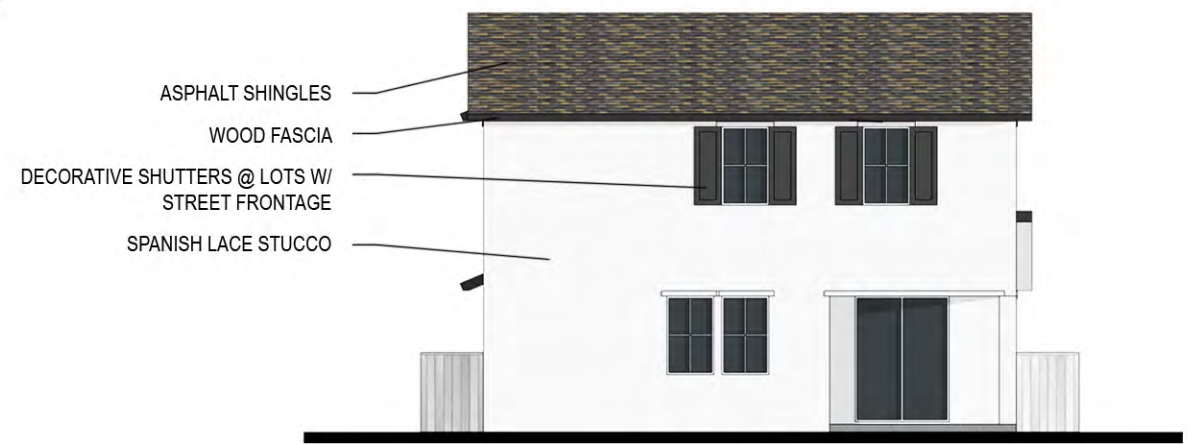
UPPER FLOOR PLAN



FRONT ELEVATION



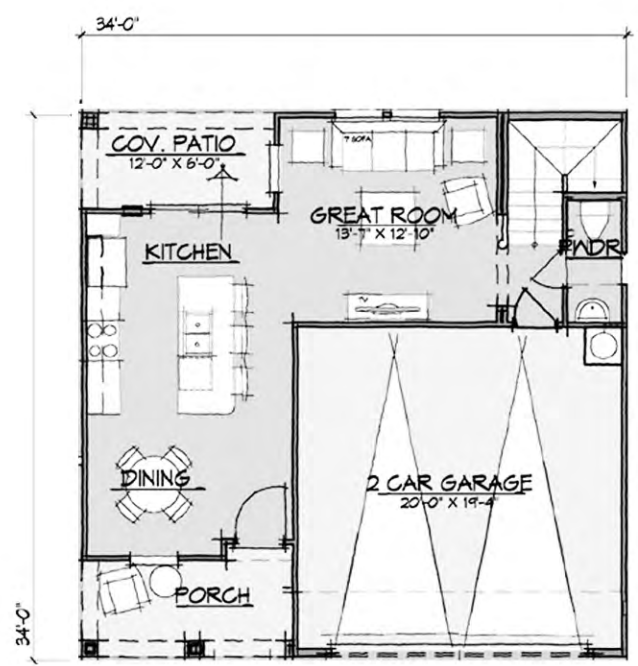
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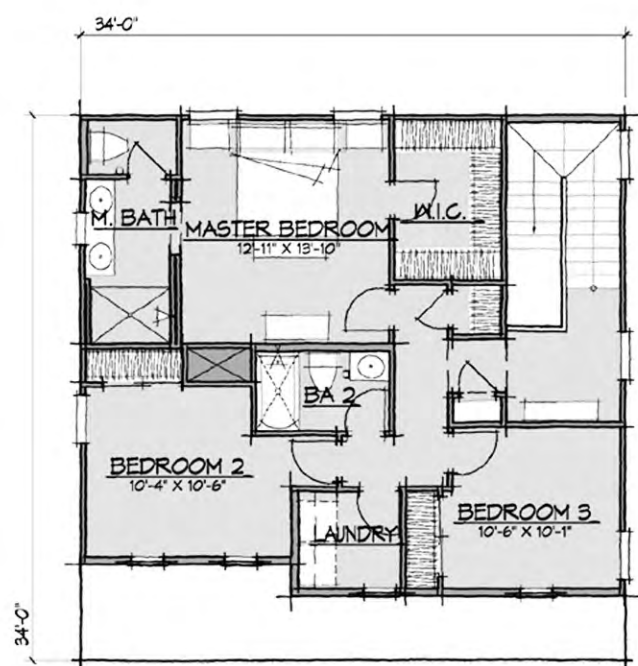
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LEFT ELEVATION



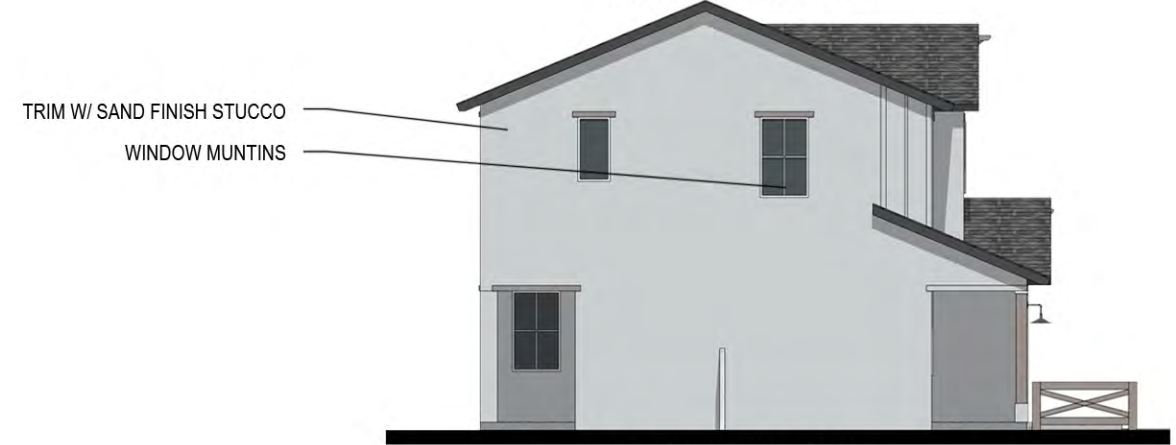
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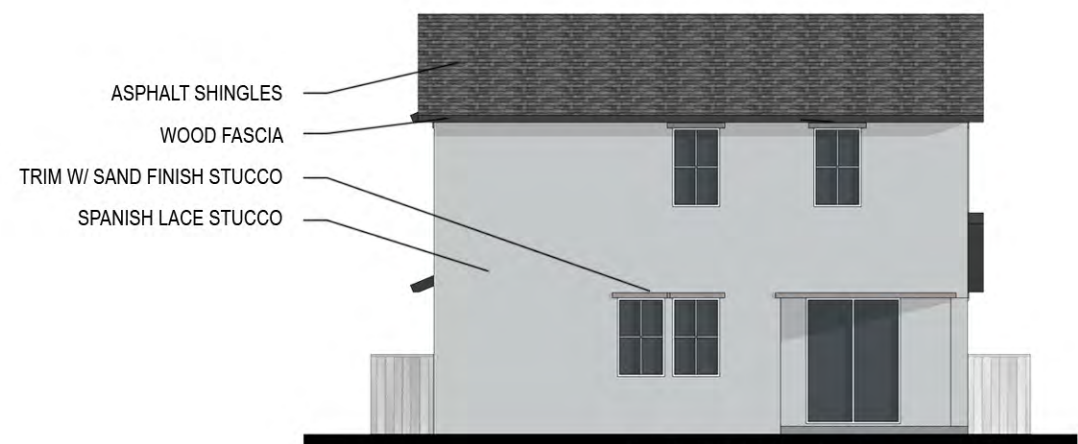
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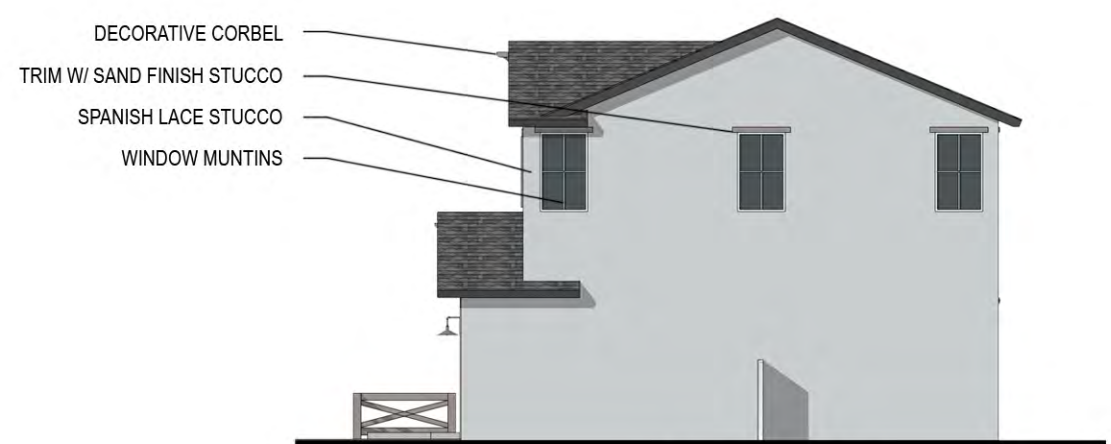
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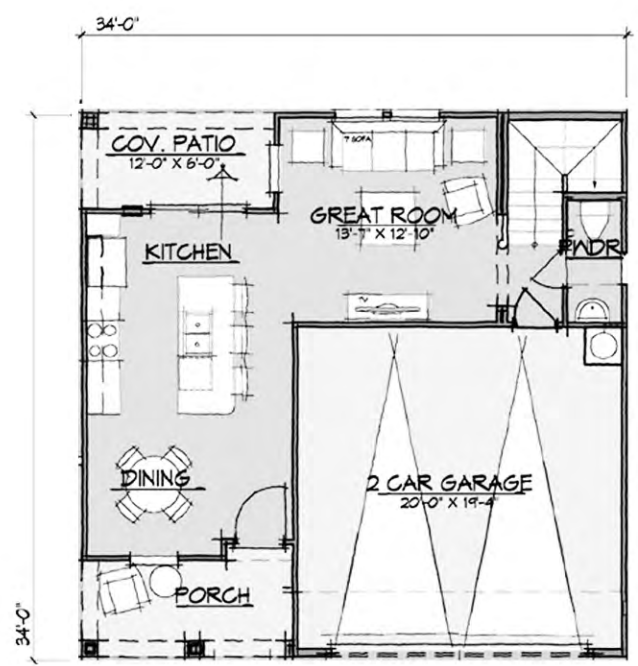
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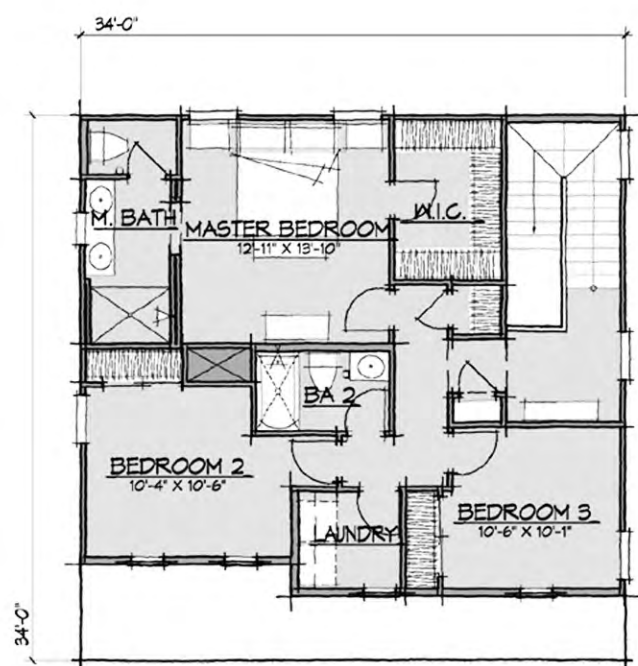
REAR ELEVATION



LEFT ELEVATION



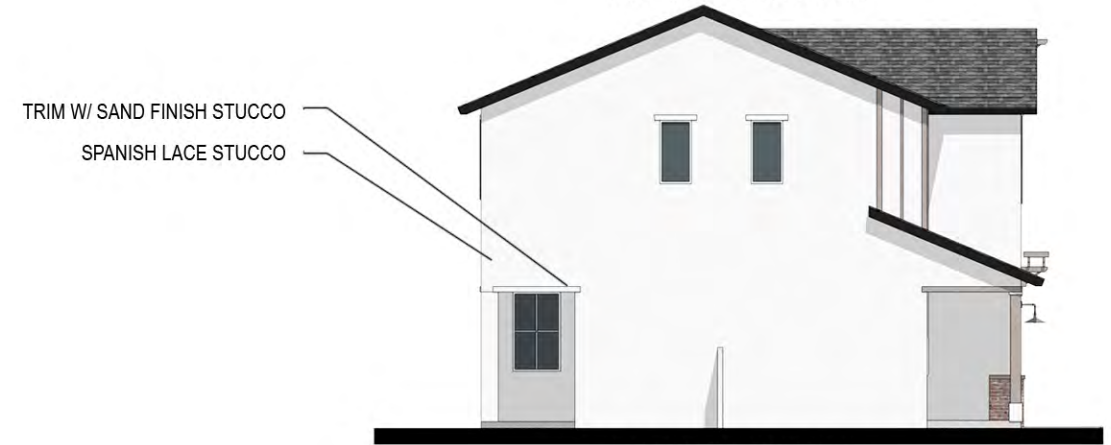
LOWER FLOOR PLAN



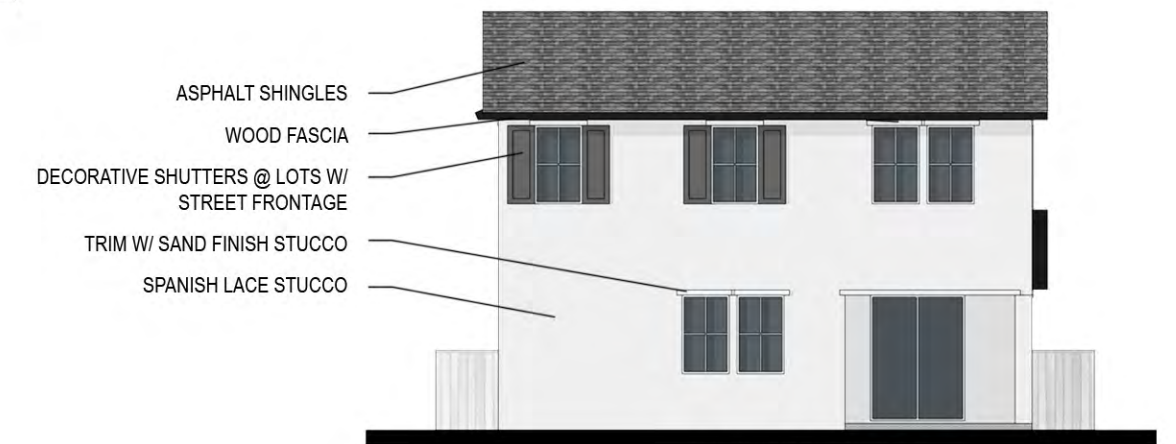
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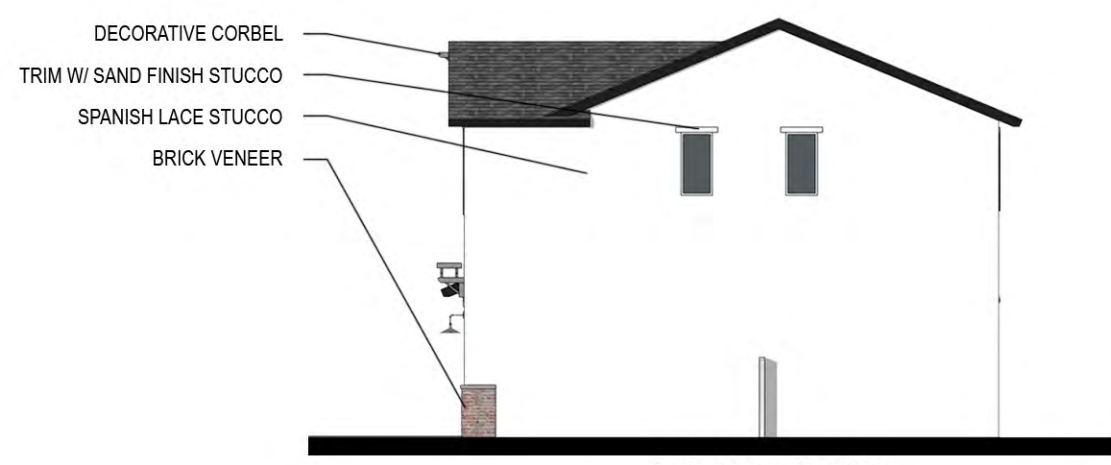
FRONT ELEVATION



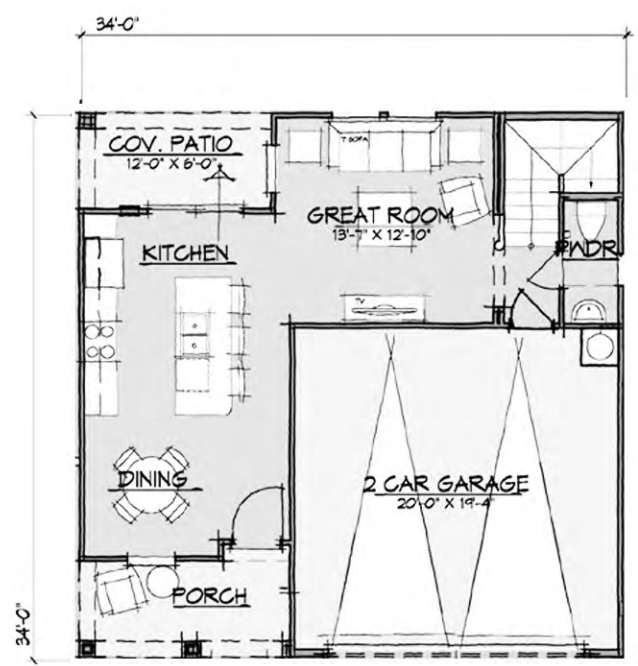
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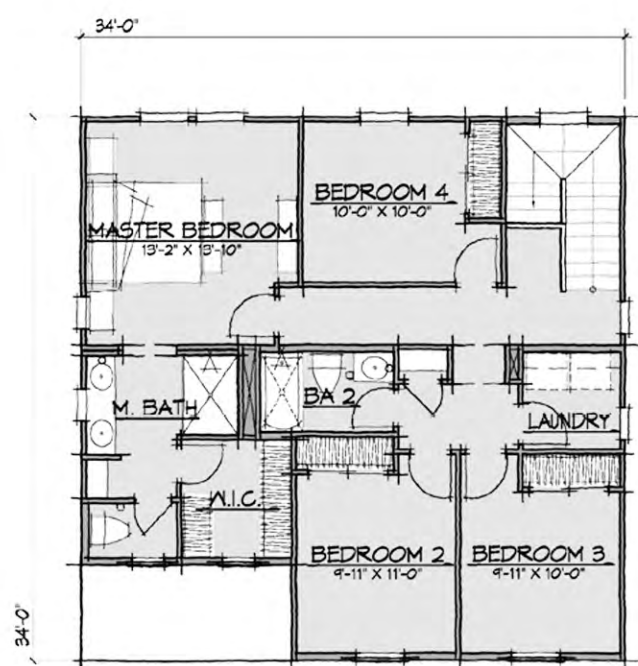
REAR ELEVATION



LEFT ELEVATION



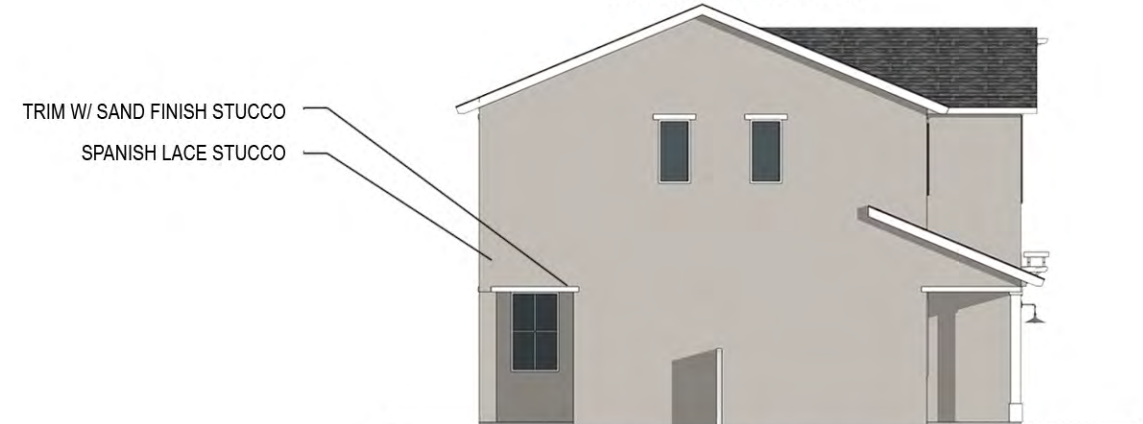
LOWER FLOOR PLAN



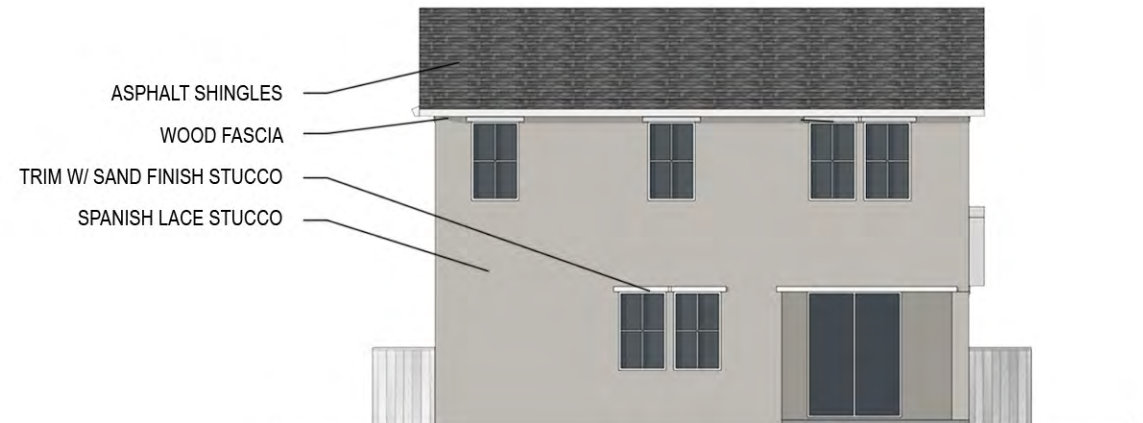
UPPER FLOOR PLAN



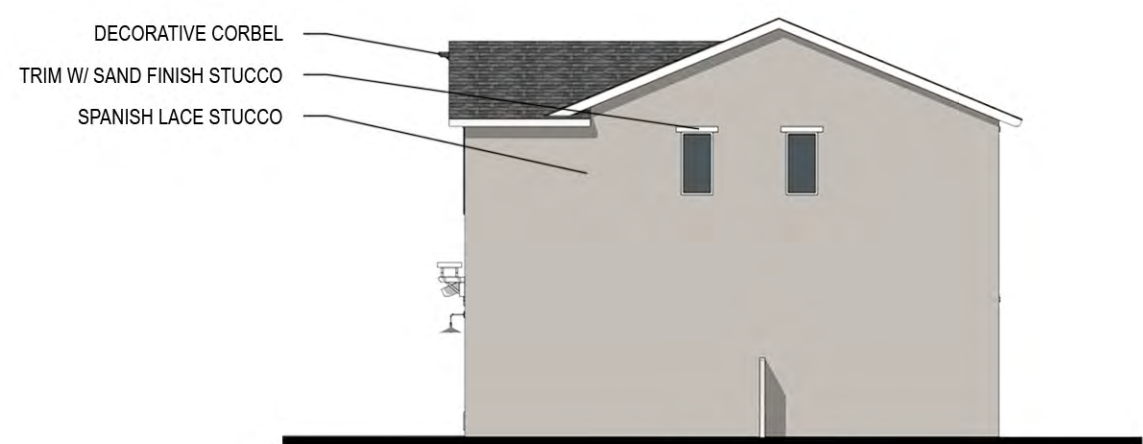
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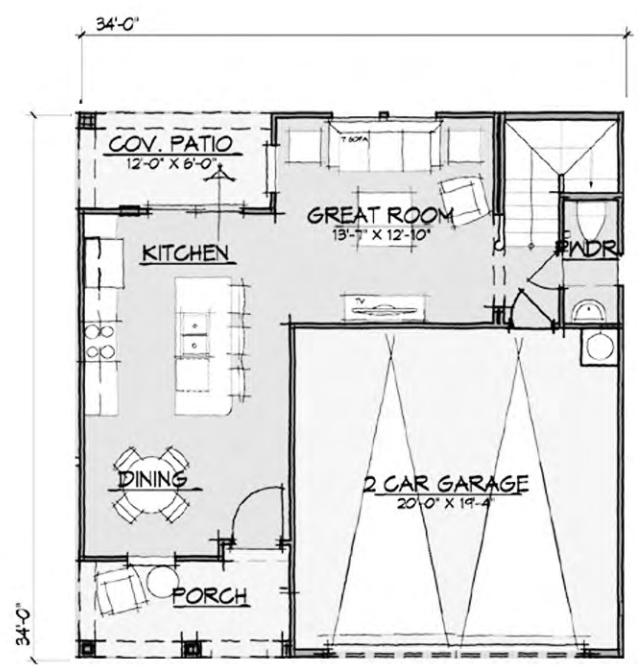
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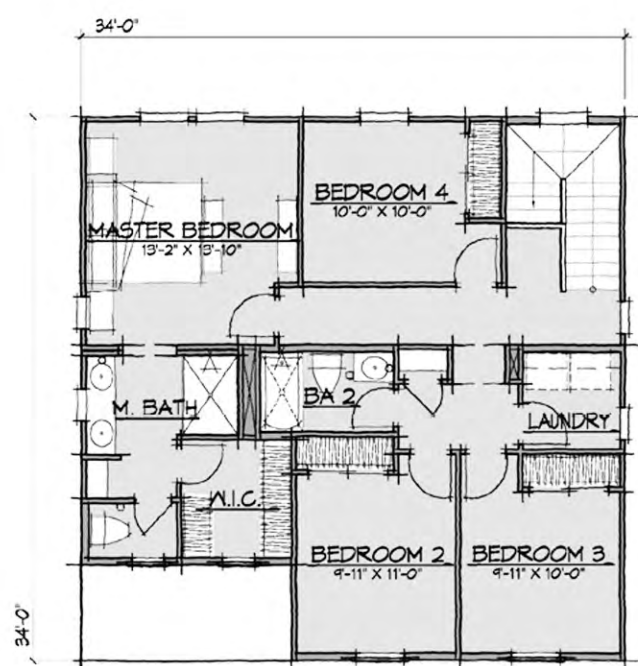
REAR ELEVATION



LEFT ELEVATION



LOWER FLOOR PLAN



UPPER FLOOR PLAN



Linderoth Associates  
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Scottsdale, Arizona 85250  
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JOB NUMBER: 20-003C  
Project Mgr: marcim  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
△		
△		
△		
△		
△		

**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

PLAN - 1367  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

FLOOR PLAN

1/4" = 1'-0"

A1.1.0

**GENERAL NOTES**

- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
- REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
- ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
- DIMENSIONS OF FLOOR PLAN(S) AND INTERIOR ELEVATIONS ARE SHOWN TO FACE OF STUD TYPICALLY UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS OF ALL DOOR AND WINDOW UNITS PRIOR TO START OF CONSTRUCTION.
- PROVIDE INSULATION AT ALL WALL AND CEILING LOCATIONS SEPARATING CONDITIONED FROM NON-CONDITIONED SPACES. REFER TO WALL SCHEDULE AND ARCHITECTURAL NOTES FOR MINIMUM WALL AND CEILING INSULATION REQUIREMENTS.

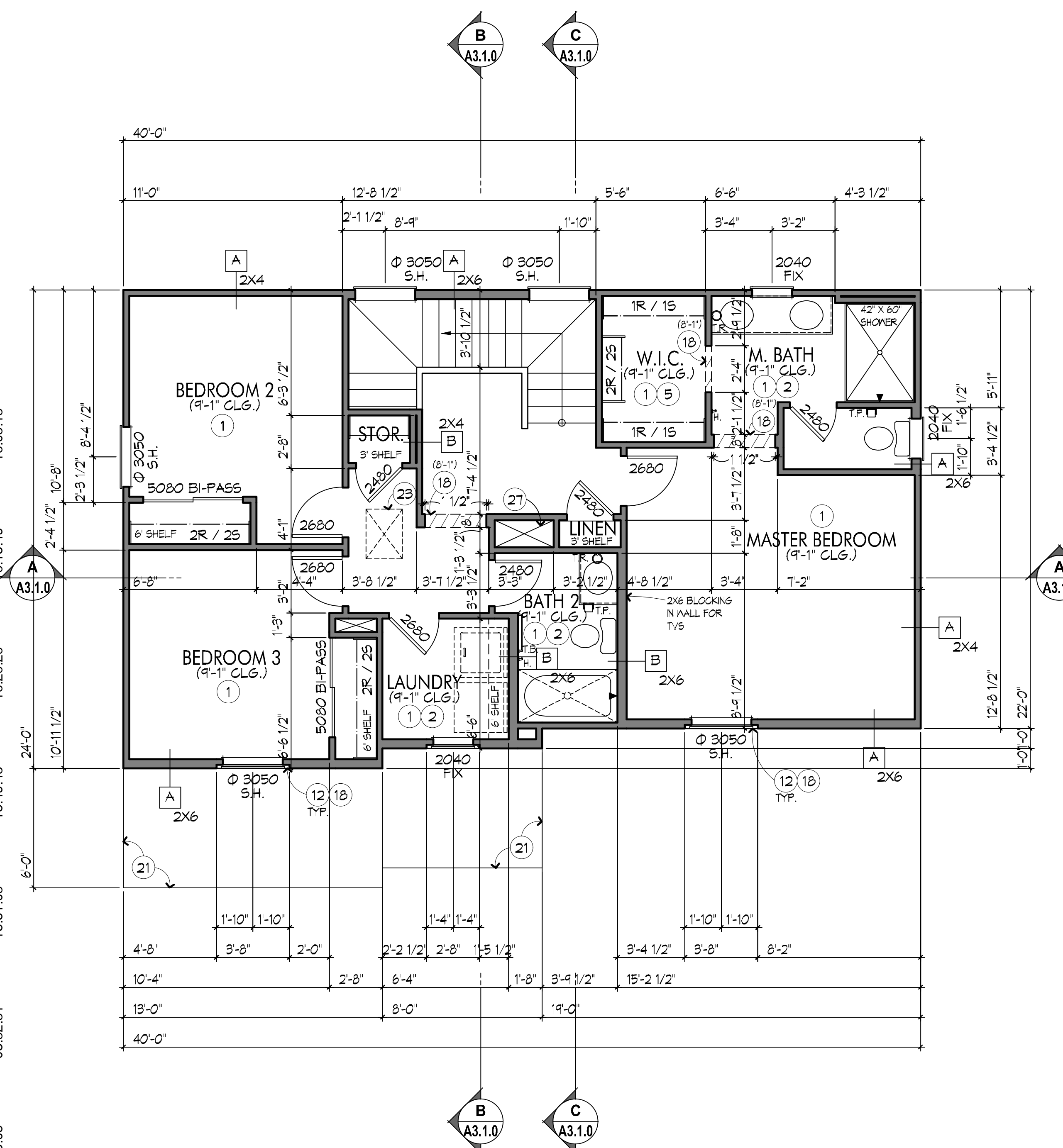
**KEYED NOTES**

- COORDINATE FINISH FLOOR MATERIAL AND LIMIT OF FINISH W/ OWNER.
- COORDINATE CABINETRY, SHELVING/ HARDWARE WITH BUILDER. SEE SPECIFICATIONS AND DETAILS/ INTERIOR ELEVATIONS ON SHEET A4.1.0.
- ISLAND / PENINSULA CONTRACTOR TO COORDINATE 2X PONY WALL HEIGHT AND MATERIAL WITH BUILDER. PROVIDE ELECTRICAL CONDUIT IN FLOOR SLAB AS REQUIRED. COORDINATE WITH ALL TRADES.
- COORDINATE CLOSET ROD AND/OR SHELF(S) WITH BUILDER. CEILING HEIGHT TO MATCH ADJACENT ROOM UNING.
- EXTERIOR ARCHITECTURAL FEATURE. REFER TO ELEVATIONS and/or FLOOR PLANS FOR ADDL INFO. PROVIDE (2) LAYERS BUILDING PAPER AND A BITUMINOUS MEMBRANE AT ALL FLAT SURFACES. PROVIDE SLOPE FOR DRAINAGE.
- EXTERIOR GYPSUM SOFFIT BOARD AT CEILING. REFER TO ARCHITECTURAL NOTES FOR ADDL INFO.
- LINE OF SOFFIT/ CEILING TRANSITION. REFER TO INTERIOR ELEVATIONS and/or EXTERIOR ELEVATIONS FOR ADDL INFO.
- LINE OF FIRST FLOOR BELOW.
- ATTIC SCUTTLE. REFER TO ARCHITECTURAL NOTES.
- A/C CHASE.
- WATER HEATER ON -18" HIGH PLATFORM WITH T & P R.V. FULL-SIZE DRAINAGE TO EXTERIOR MIN 2" ABOVE GRADE. REFER TO ARCHITECTURAL NOTES.
- PROVIDE 1 3/4" SOLID CORE WOOD DOOR AND FRAME; SELF-CLOSING, SELF-LATCHING WITH SMOKE CONTROL SWEEPS AND SEALS AT THIS LOCATION.
- (1) LAYER 1/2" GYPSUM BOARD AT GARAGE CEILING; (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD SHALL BE REQUIRED AT ENTIRE GARAGE CEILING WHEN FLOOR FRAMING IS ABOVE.
- EXTERIOR FLATWORK, REFER TO ARCHITECTURAL NOTES.
- CONC. SLAB. SLOPE 1/8" PER FOOT AWAY FROM BUILDING. REFER TO STRUCTURAL DRAWINGS.
- UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.

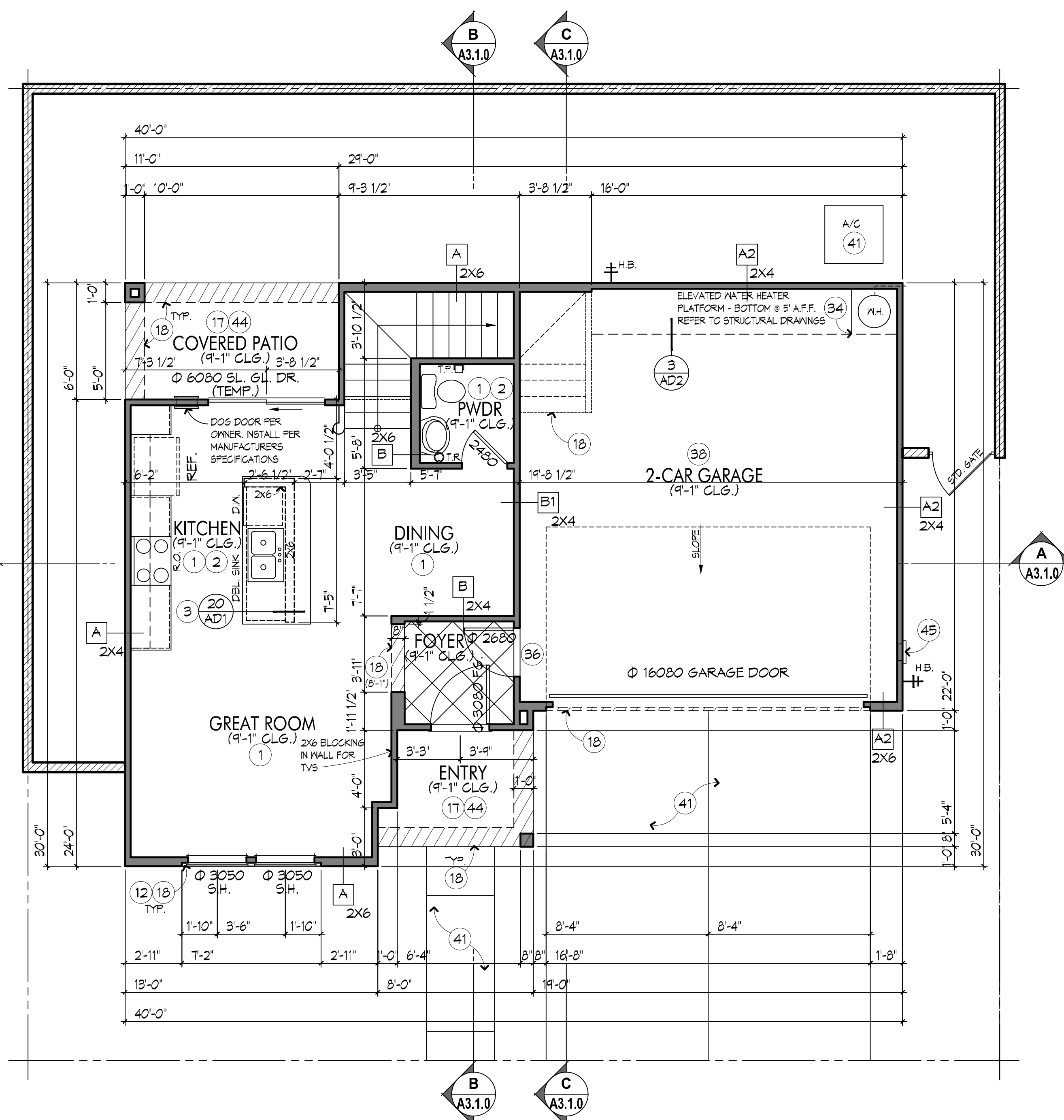
**WALL SCHEDULE**

\* PROVIDE WATER RESISTIVE GYPSUM BOARD @ ALL NET AREAS (IRC 102.3). NOT PERMITTED AT SHOWERS AND OTHER AREAS OF HIGH HUMIDITY.

- NOTE: REFER TO STRUCTURAL PLANS FOR LOCATIONS OF SHEAR WALL AND BEARING WALL CONDITIONS. COORDINATE WITH THIS PLAN.
- A** EXTERIOR FINISH/ E.I.F.S. PER SPECIFICATIONS. EXTERIOR FACE REFER TO ELEVATIONS FOR ADDL FINISH APPLICATIONS
  - 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DWGS.
  - INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY
  - 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
  - SAME AS 'A', EXCEPT:
  - NO INSULATION @ WALL
  - A2** 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DWGS.
  - 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
  - SAME AS 'B', EXCEPT:
  - INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY

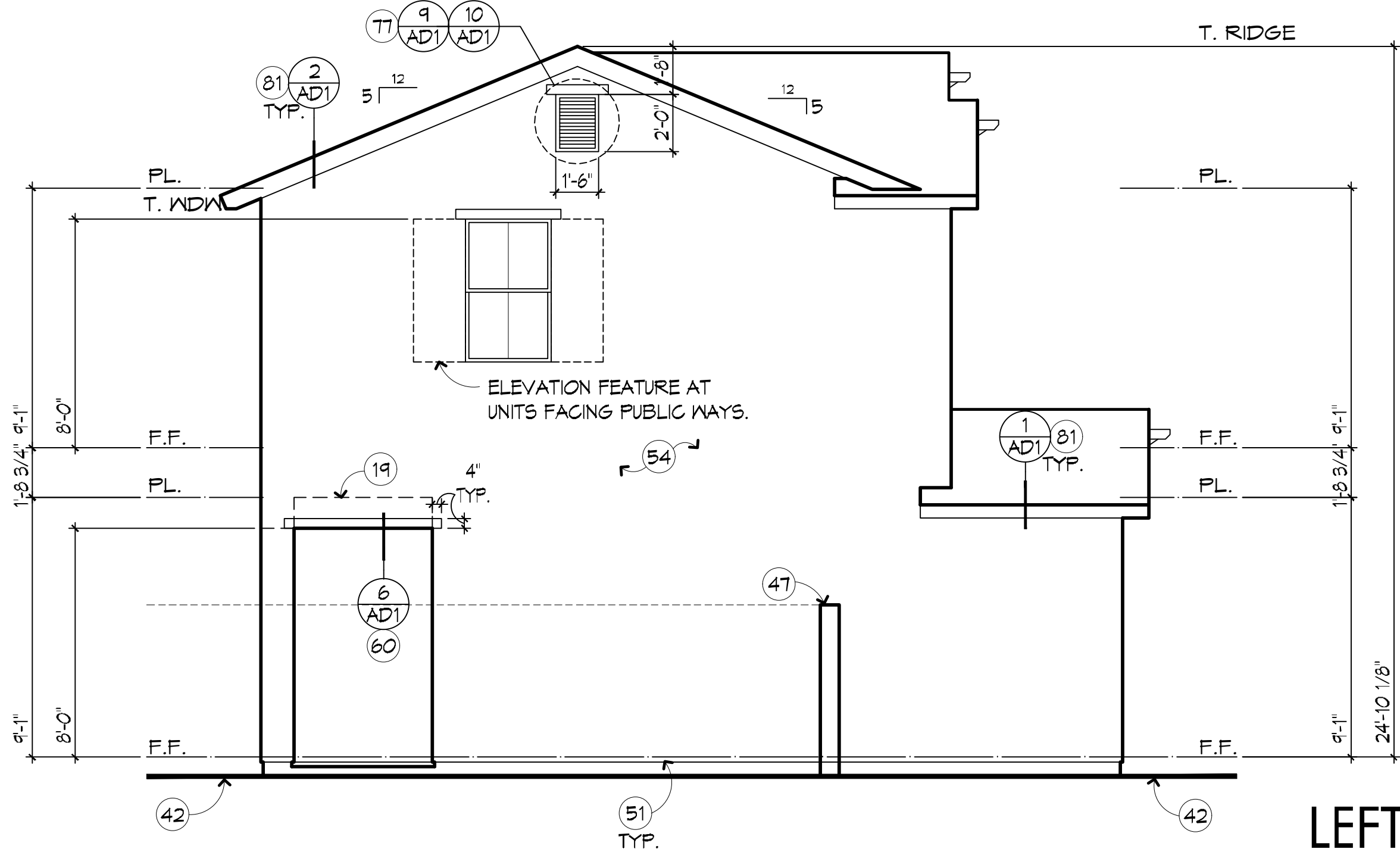
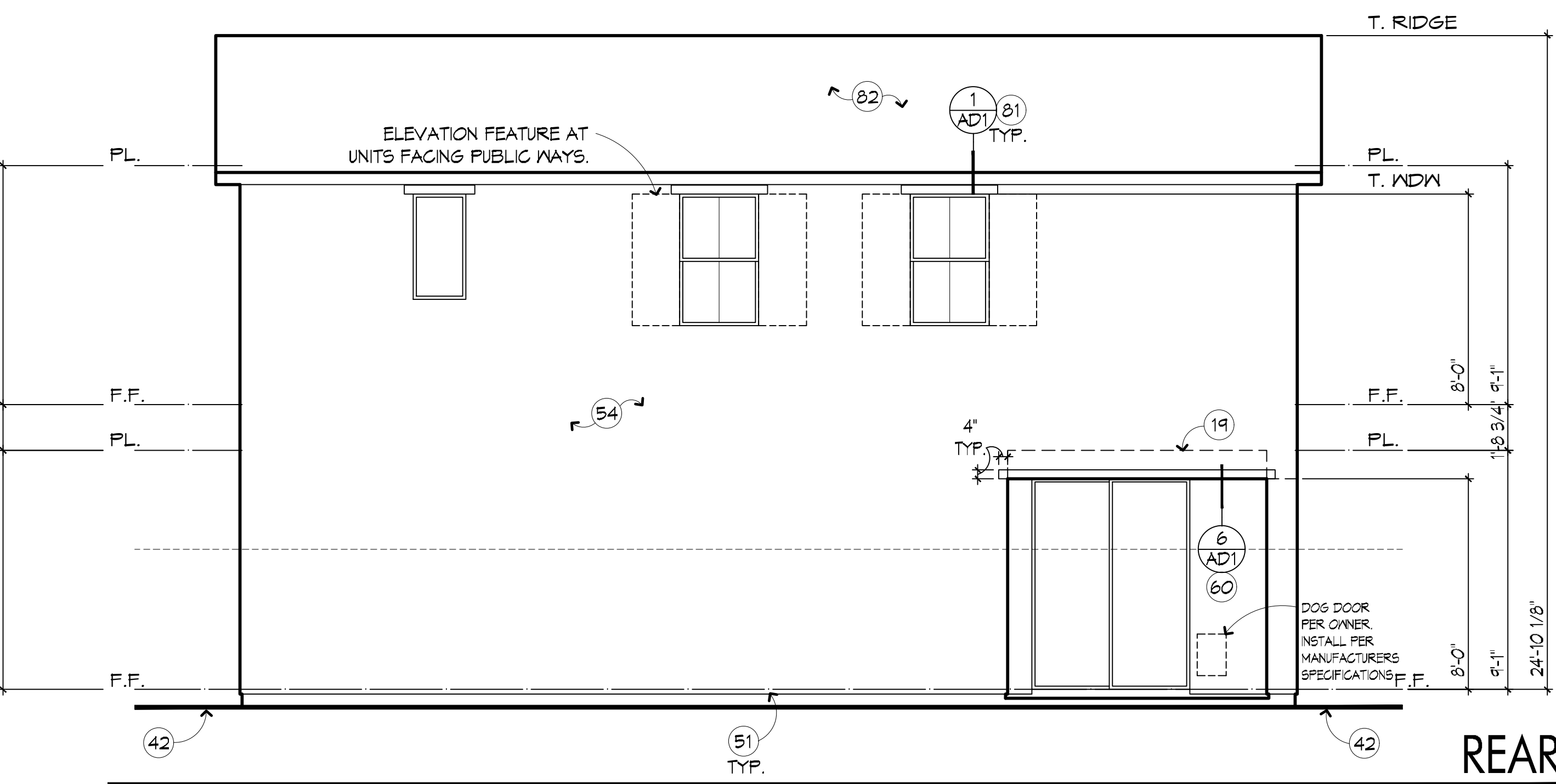
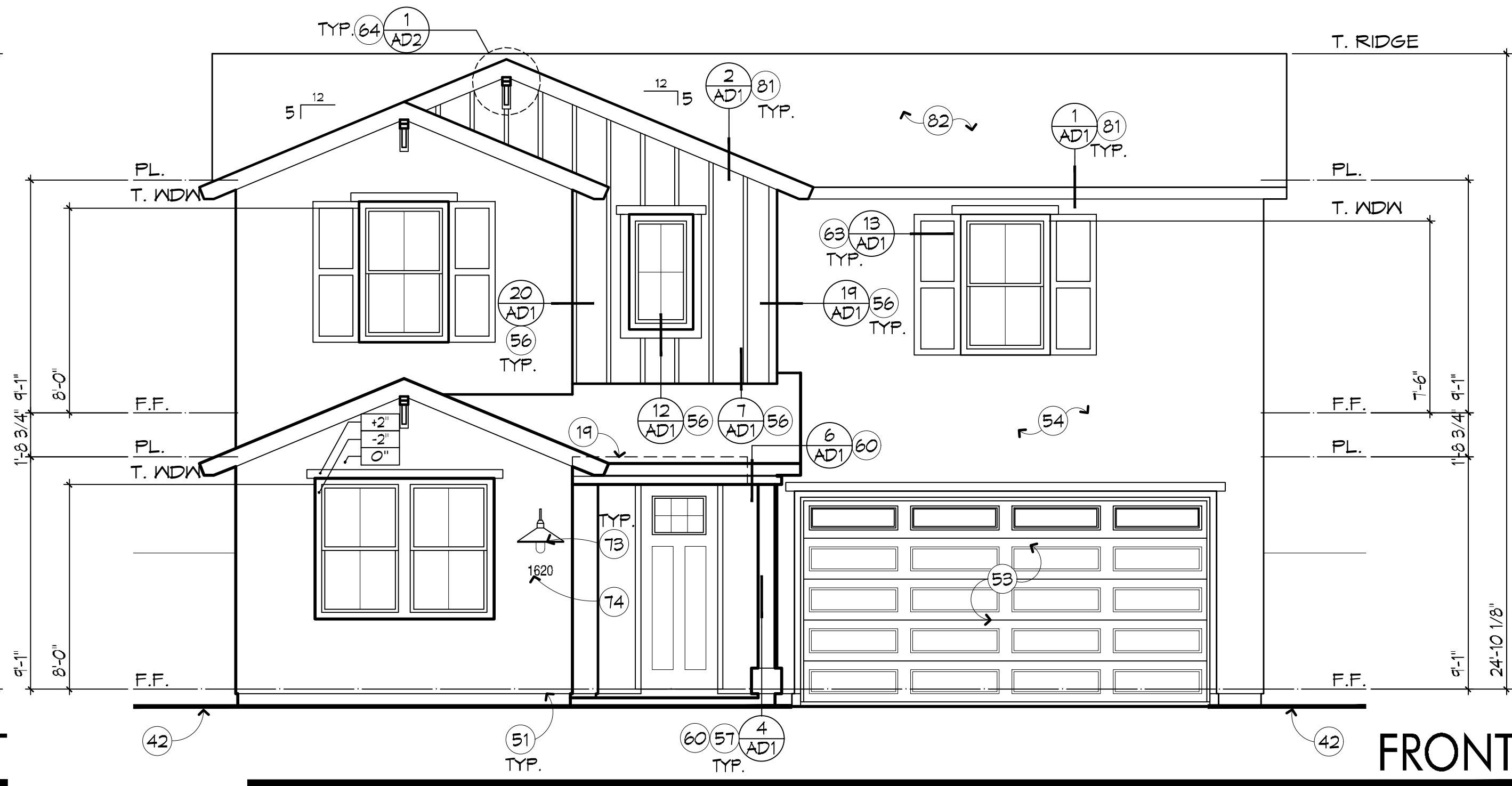
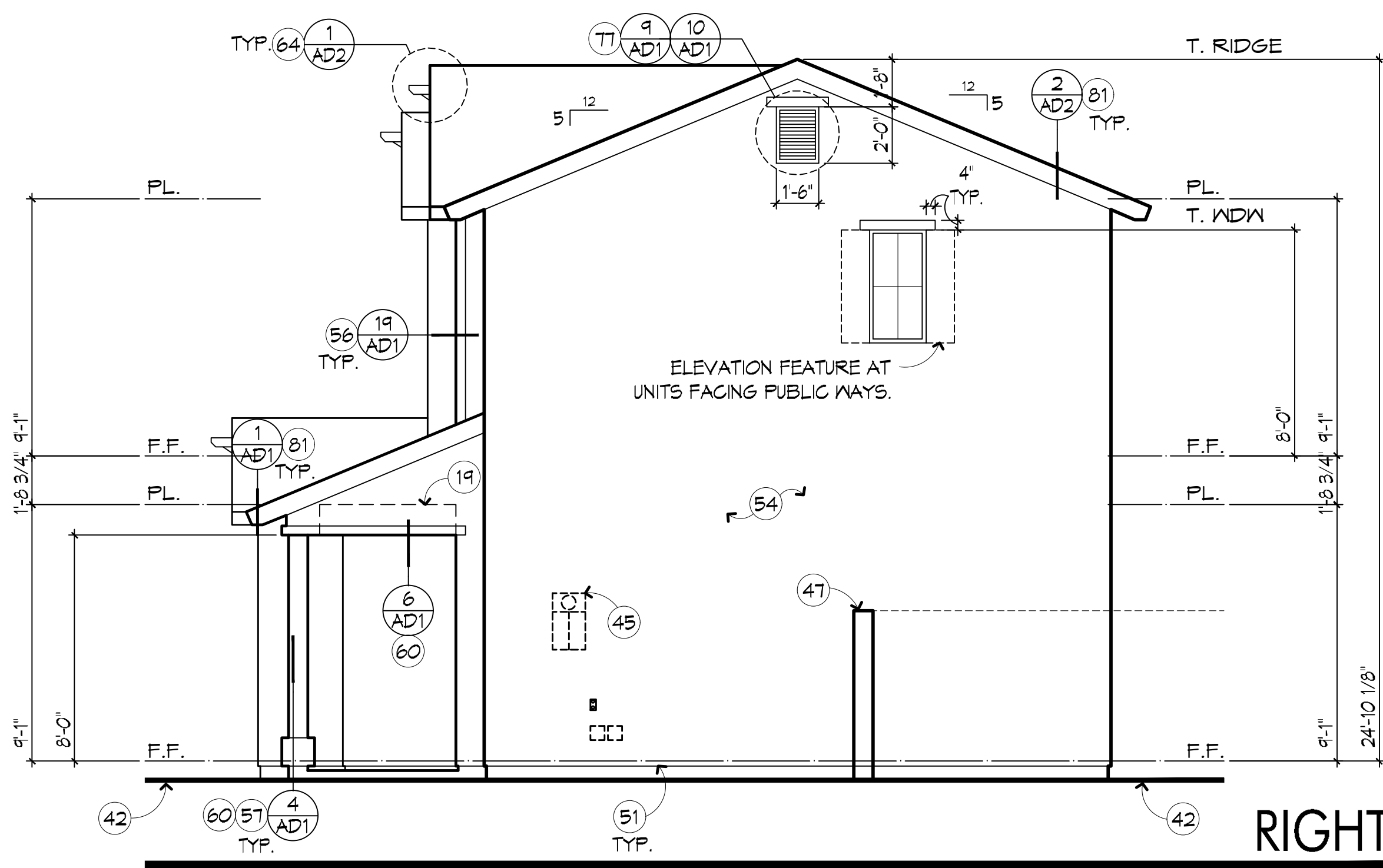


**UPPER FLOOR PLAN**  
ALL ELEVATIONS



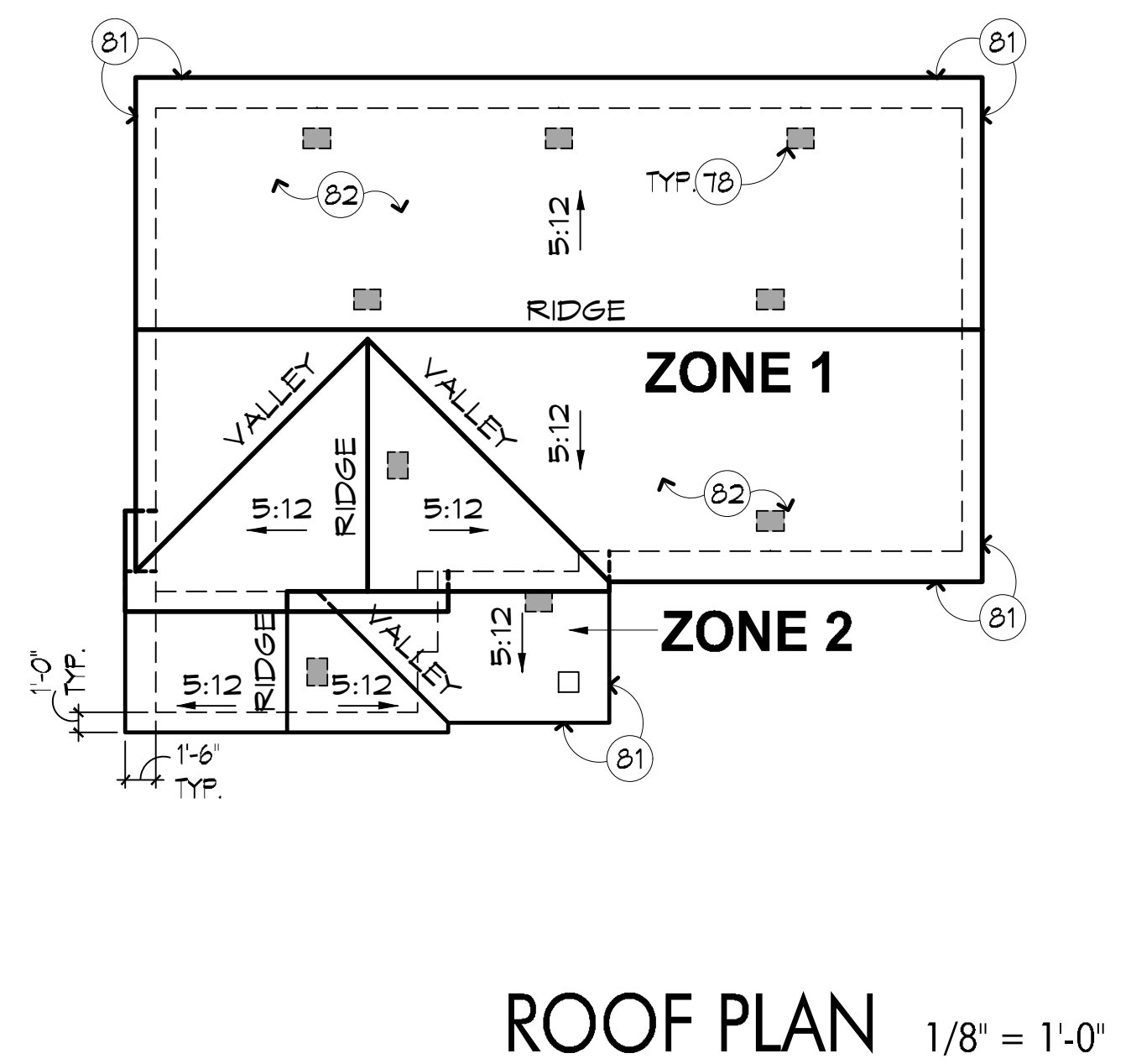
**LOWER FLOOR PLAN**  
ALL ELEVATIONS

05/21/2020 16:03:13  
05/21/2020 16:18:49  
05/21/2020 16:26:26  
05/21/2020 15:49:43  
05/27/2020 15:51:03  
05/28/2020 09:32:31  
05/29/2020 11:58:05  
06/16/2020 14:28:29  
06/16/2020 14:28:49  
07/14/2020 13:59:21



- ### GENERAL NOTES
- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
  - REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
  - ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS' BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
  - FINISH DIMENSIONS AND OFFSET REFERENCES SHOWN ARE MEASURED TO FACE OF FINISH UNLESS NOTED OTHERWISE. REFER TO GENERAL DETAILS (GD) SHEETS FOR STANDARD DOOR / WINDOW HEADER HEIGHTS AND ADDITIONAL INFORMATION.
- ### KEYED NOTES
- LINE OF CEILING BEYOND.
  - FINISH GRADE. SLOPE MIN. 5% AWAY FROM BUILDING.
  - UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.
  - SITE WALL. (FINISH TO MATCH RESIDENCE)
  - METAL WEEP SCREED.
  - OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
  - EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
  - VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
  - PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
  - E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
  - SHUTTERS.
  - CORBELS / BRACKETS.
  - LIGHT FIXTURE.
  - STREET ADDRESS PLAQUE.
  - DECORATIVE ATTIC VENT WITH STUCCO POP-OUT.
  - ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
  - FASCIA / BARGE.
  - HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.

ROOF VENT CALCULATIONS					
ZONE 1			ELEVATION "A"		
VENTED AREA: 914.00 SQ. FT.			1/3000 RULE		
REQUIRED: 175.49 MIN., 219.36 MAX. HIGH SQ. IN.					
438.72 SQ. IN. OVERALL, 219.36 LOW SQ. IN.					
VENT	TYPE	AREA	QTY.	TOTAL	
OHAGN LOW	LOW	72.00 ea	4	288.00	
OHAGN HIGH	HIGH	72.00 ea	3	216.00	
			216.00 HIGH SQ. IN.		
			288.00 LOW SQ. IN.		
VENTING PROVIDED:			504.00 SQ. IN.		
ROOF VENT CALCULATIONS					
ZONE 2			ELEVATION "A"		
VENTED AREA: 126.00 SQ. FT.			1/1500 RULE		
REQUIRED: 120.96 SQ. IN.					
VENT	TYPE	AREA	QTY.	TOTAL	
OHAGN HIGH	HIGH	72.00 ea	2	144.00	
			- HIGH SQ. IN.		
			- LOW SQ. IN.		
VENTING PROVIDED:			144.00 SQ. IN.		



ROOF PLAN 1/8" = 1'-0"



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JOB NUMBER: 20-003C  
Project Mgr: marcm  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
△		
△		
△		
△		
△		

**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

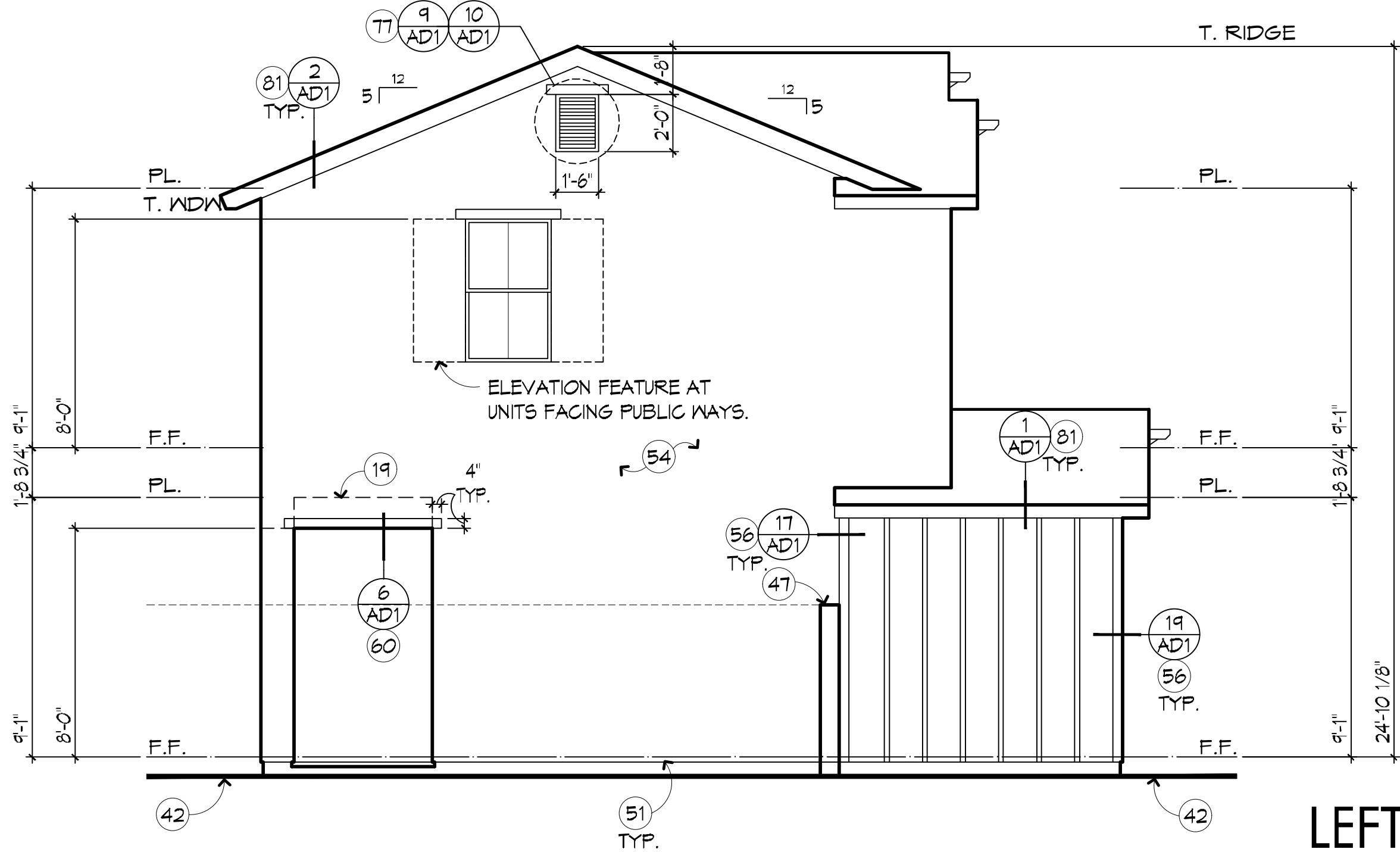
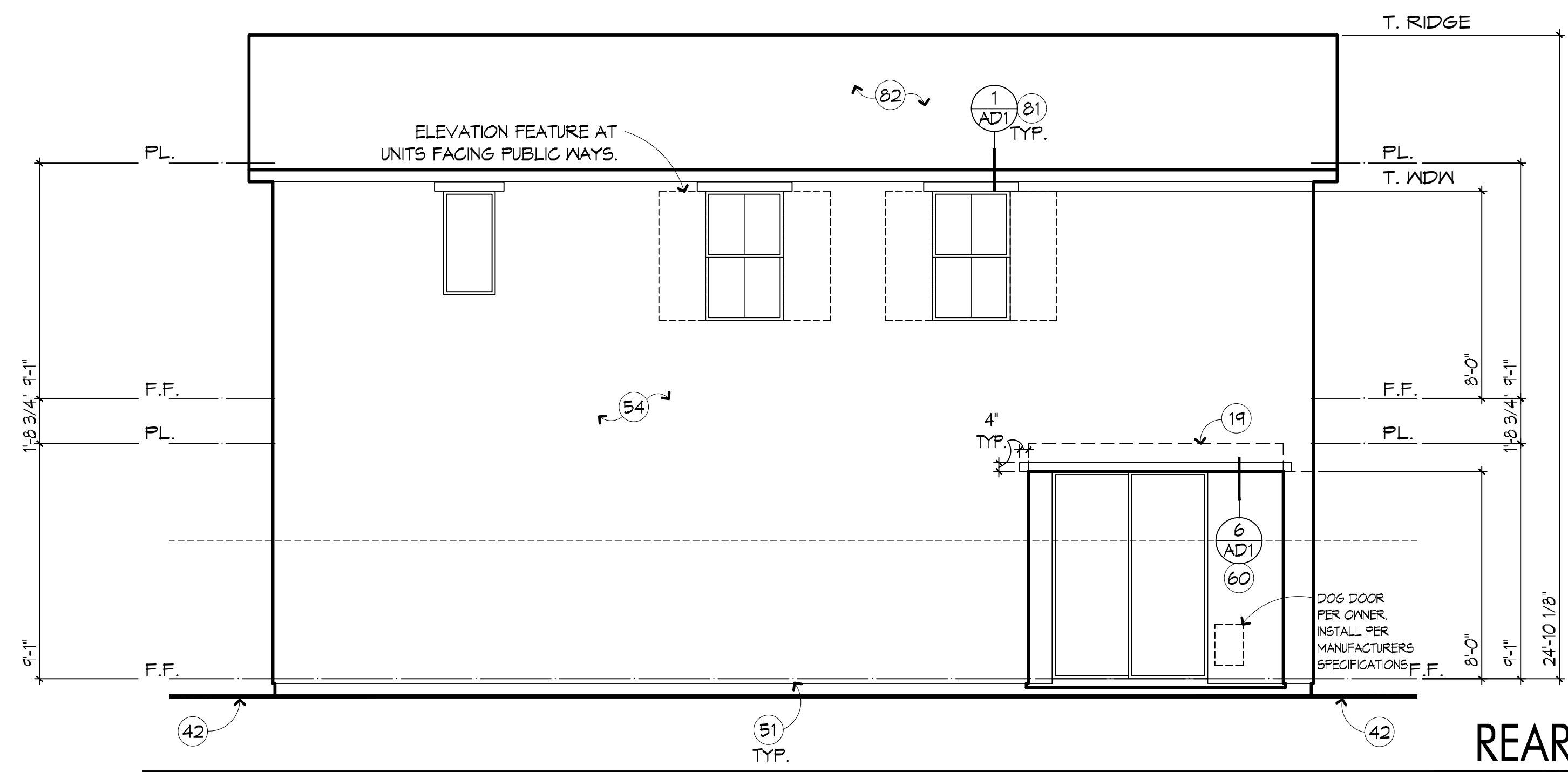
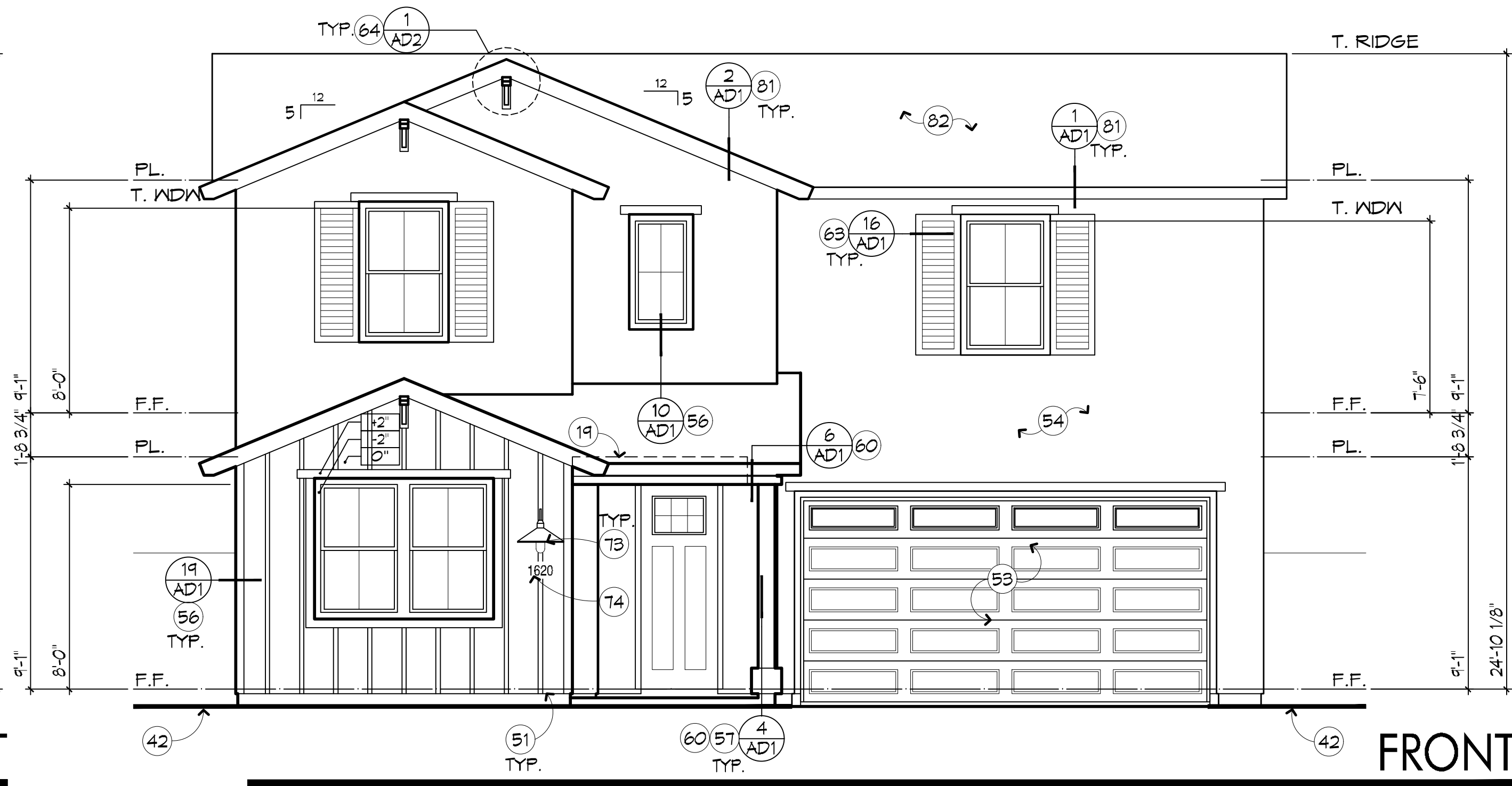
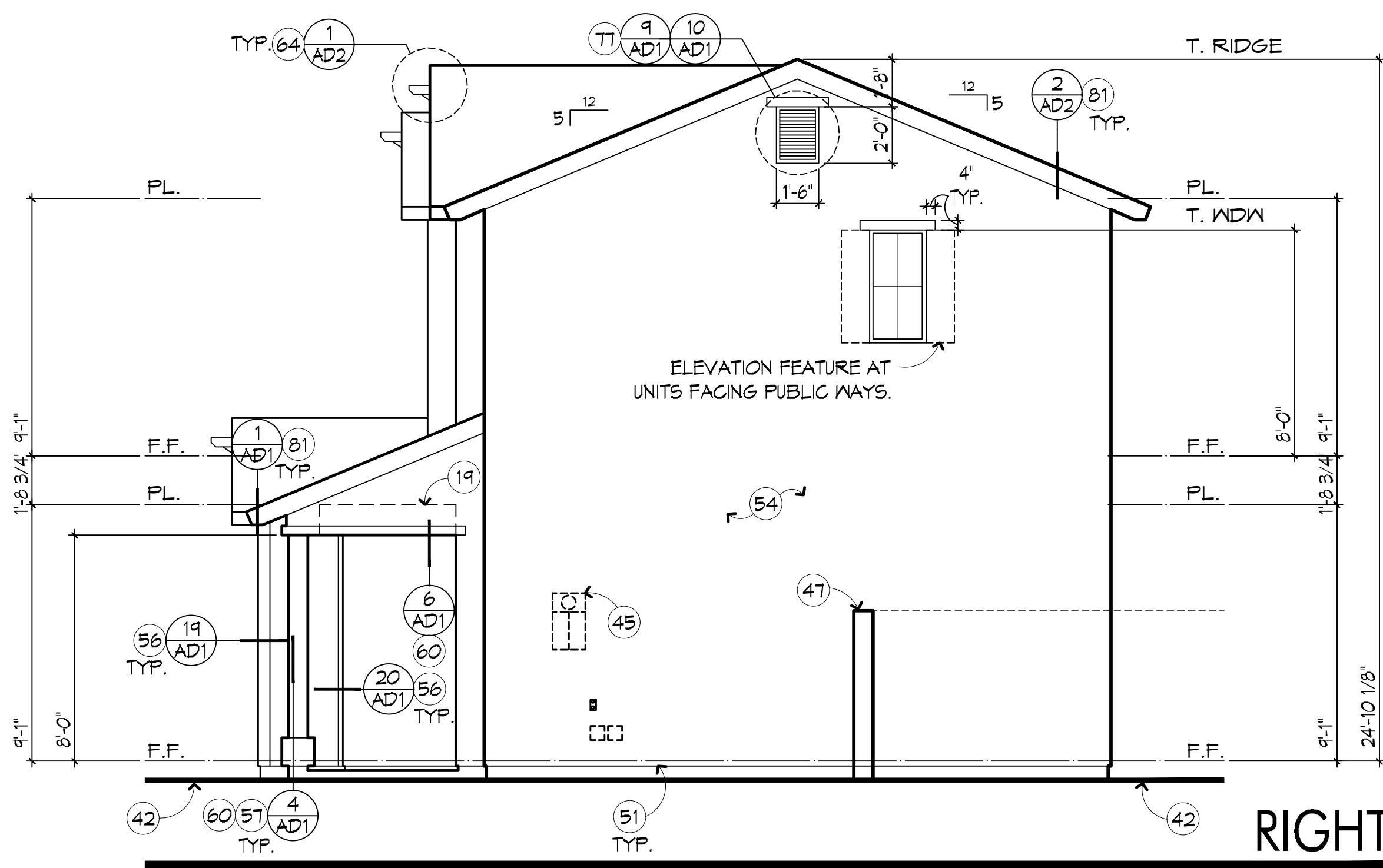
PLAN - 1367  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN A

1/4" = 1'-0"

A2.1.0

03/04/2020 11:05:28  
03/13/2020 10:17:04  
05/06/2020 16:43:04  
05/06/2020 16:44:37  
05/20/2020 13:57:58  
05/20/2020 14:10:13  
05/20/2020 15:58:57  
06/04/2020 13:23:12  
06/04/2020 13:44:53  
07/14/2020 13:59:40



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  - SITE WALL. (FINISH TO MATCH RESIDENCE)
  - METAL WEEP SCREED.
  - OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
  - EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
  - VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
  - PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
  - E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
  - SHUTTERS.
  - CORBELS / BRACKETS.
  - LIGHT FIXTURE.
  - STREET ADDRESS PLAQUE.
  - DECORATIVE ATTIC VENT WITH STUCCO POP-OUT.
  - ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
  - FASCIA / BARGE.
  - HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.

**ROOF VENT CALCULATIONS**

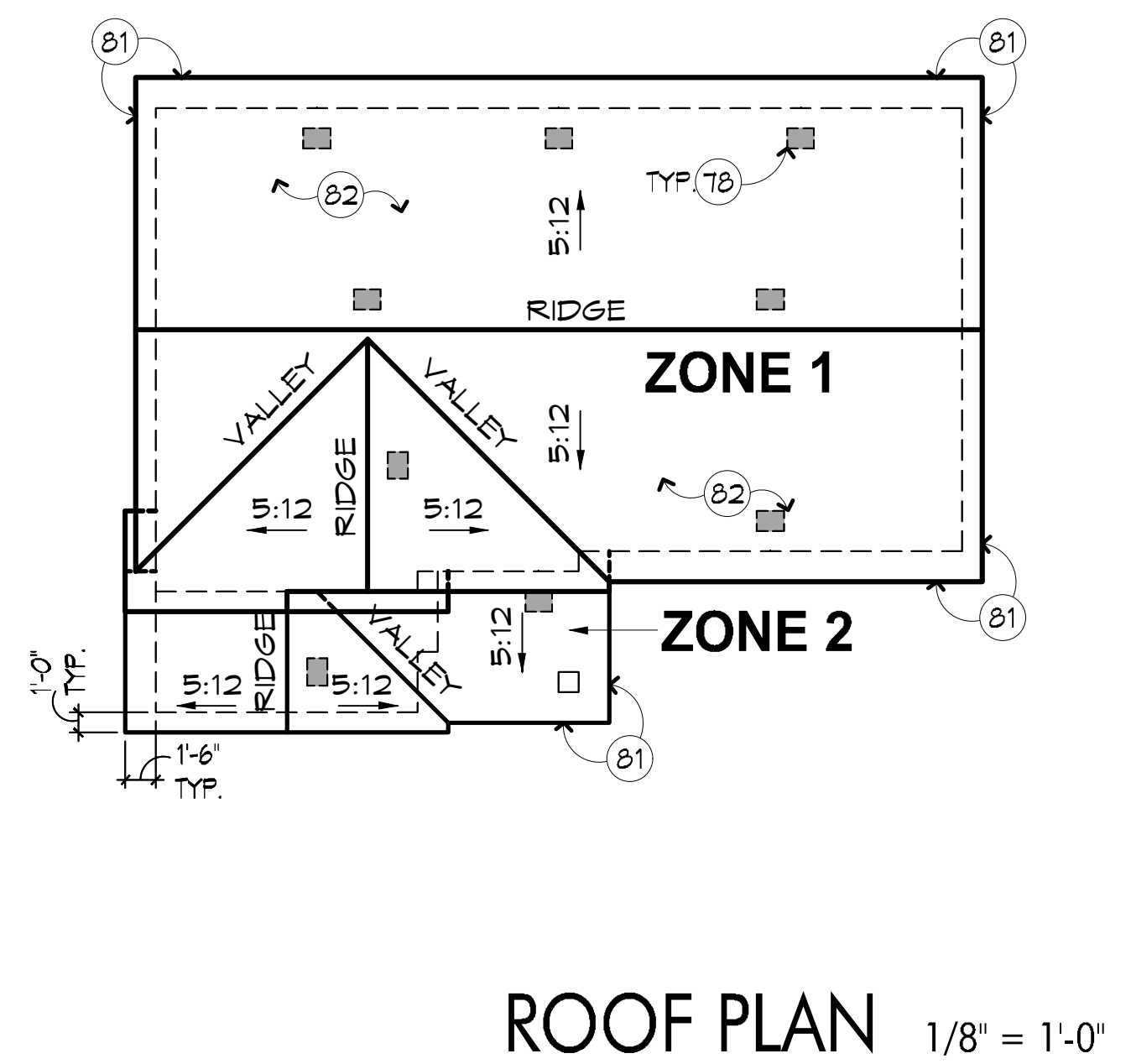
ZONE 1 ELEVATION "B"  
 VENTED AREA: 914.00 SQ. FT. 1/300 RULE  
 REQUIRED: 175.49 MIN., 219.36 MAX. HIGH SQ. IN.  
 438.72 SQ. IN. OVERALL, 219.36 LOW SQ. IN.

VENT	TYPE	AREA	QTY.	TOTAL
OHAGN LOW	LOW	72.00 ea	4	288.00
OHAGN HIGH	HIGH	72.00 ea	3	216.00
				216.00 HIGH SQ. IN.
				288.00 LOW SQ. IN.
VENTING PROVIDED:				504.00 SQ. IN.

**ROOF VENT CALCULATIONS**

ZONE 2 ELEVATION "B"  
 VENTED AREA: 126.00 SQ. FT. 1/150 RULE  
 REQUIRED: 120.96 SQ. IN.

VENT	TYPE	AREA	QTY.	TOTAL
OHAGN HIGH	HIGH	72.00 ea	2	144.00
				- HIGH SQ. IN.
				- LOW SQ. IN.
VENTING PROVIDED:				144.00 SQ. IN.



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JOB NUMBER: 20-003C  
 Project Mgr: marcm  
 ISSUE DATE:  
 06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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△		

**Curve**  
 DEVELOPMENT  
 6263 N SCOTTSDALE ROAD  
 SUITE 216  
 SCOTTSDALE, ARIZONA 85250  
 480.568.8720

PLAN - 1367  
 FIDDYMENT  
 RANCH  
 CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
 ELEVATIONS &  
 ROOF PLAN B

1/4" = 1'-0"

A2.2.0

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 05/20/2020 14:12:30  
 07/14/2020 13:59:46

**GENERAL NOTES**

1. REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
2. REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
3. ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
4. DIMENSIONS OF FLOOR PLAN(S) AND INTERIOR ELEVATIONS ARE SHOWN TO FACE OF STUD TYPICALLY UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS OF ALL DOOR AND WINDOW UNITS PRIOR TO START OF CONSTRUCTION.
5. PROVIDE INSULATION AT ALL WALL AND CEILING LOCATIONS SEPARATING CONDITIONED FROM NON-CONDITIONED SPACES. REFER TO WALL SCHEDULE AND ARCHITECTURAL NOTES FOR MINIMUM WALL AND CEILING INSULATION REQUIREMENTS.



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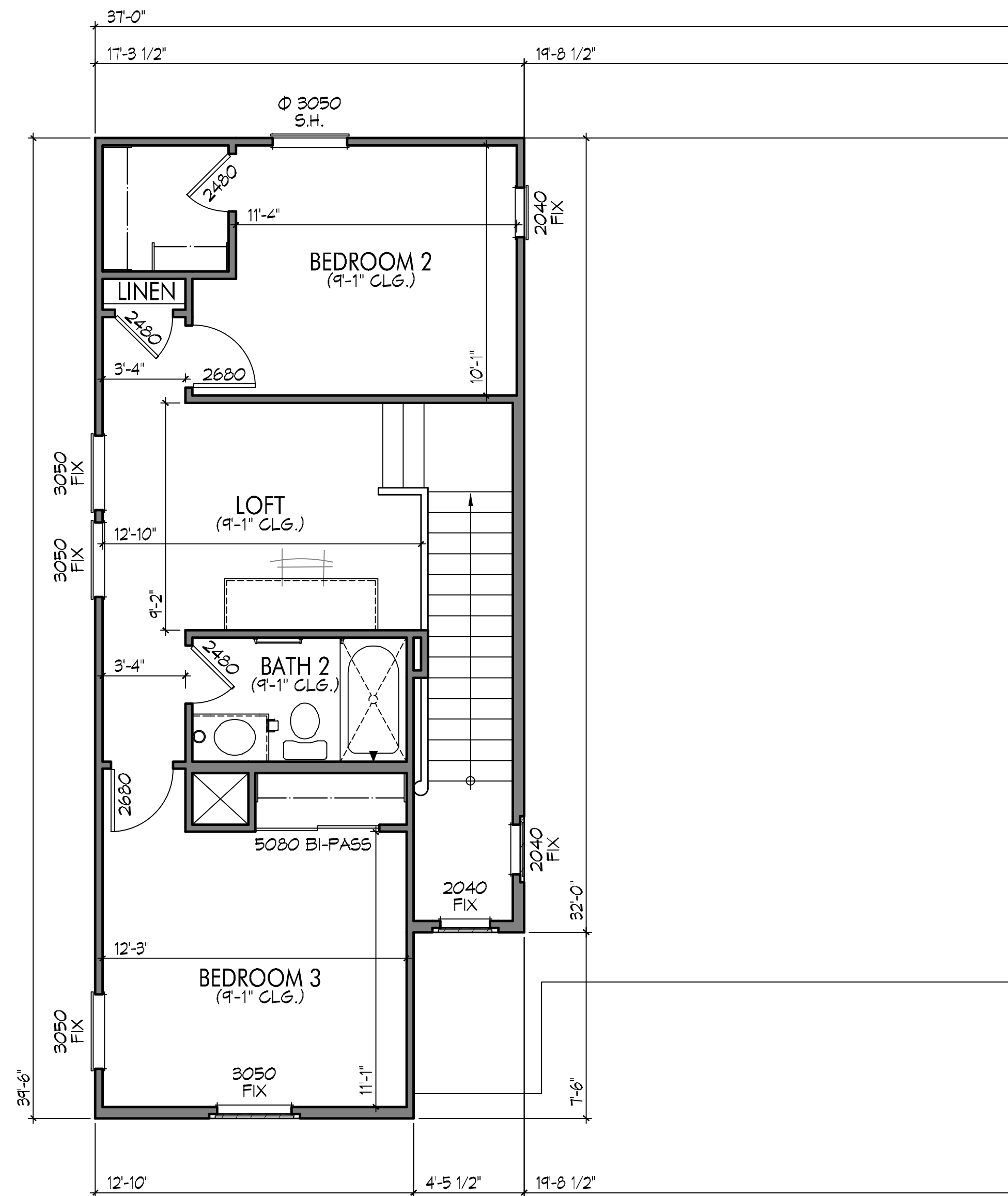
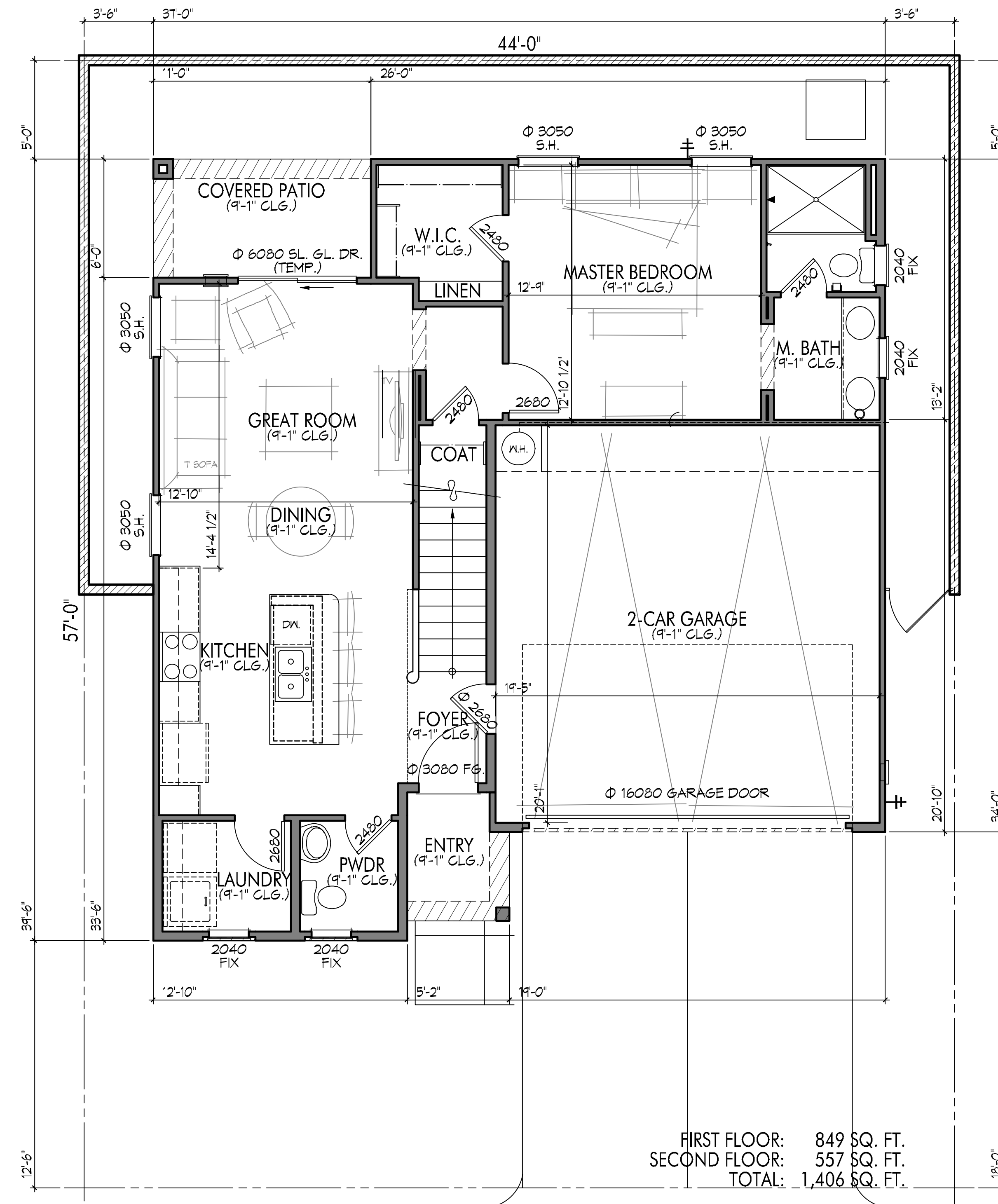
**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

PLAN - 1406  
FIDDYMENT  
RANCH  
CITY OF COSEVILLE, CALIFORNIA

FLOOR PLAN  
ELEVATION A & B

1/4" = 1'-0"

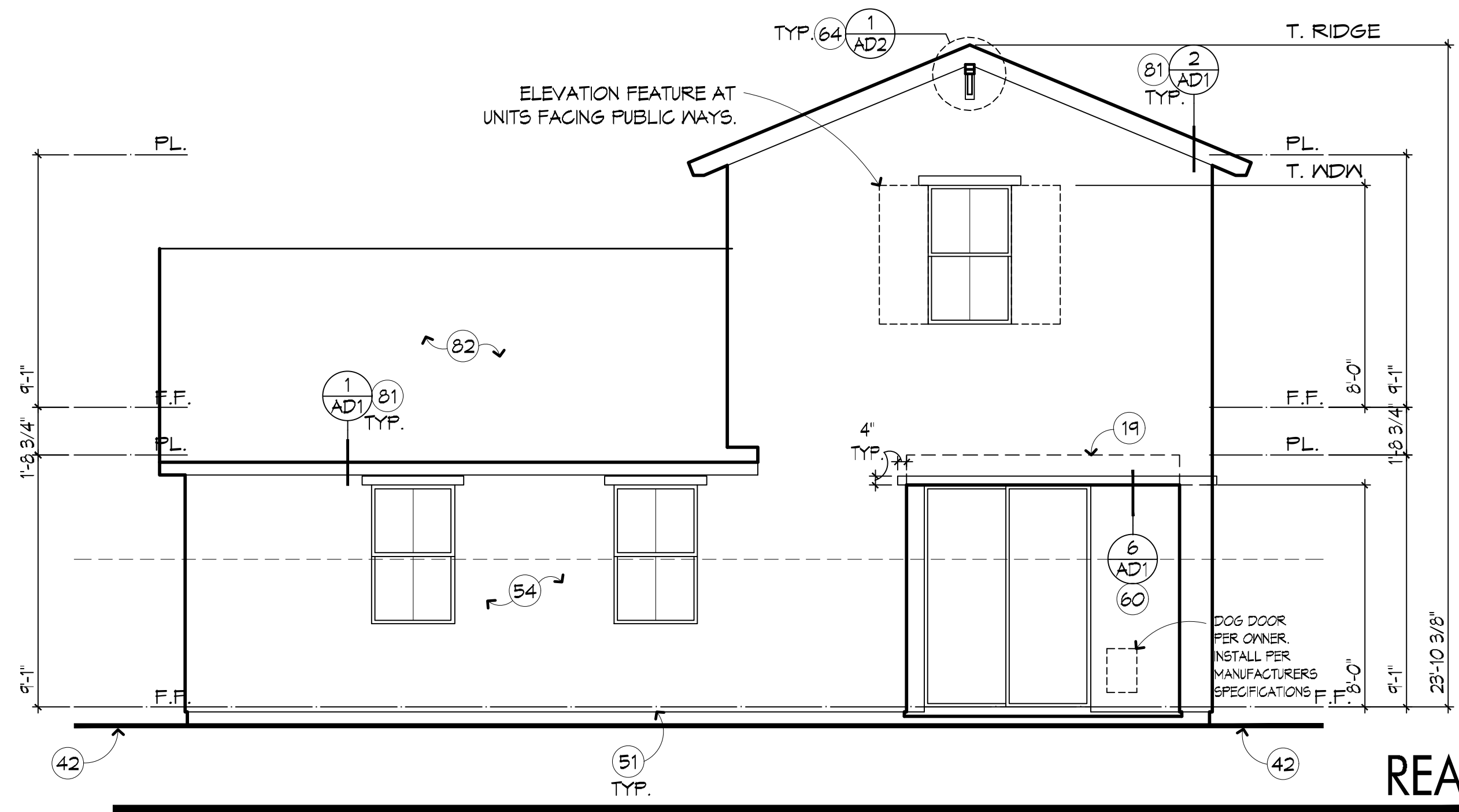
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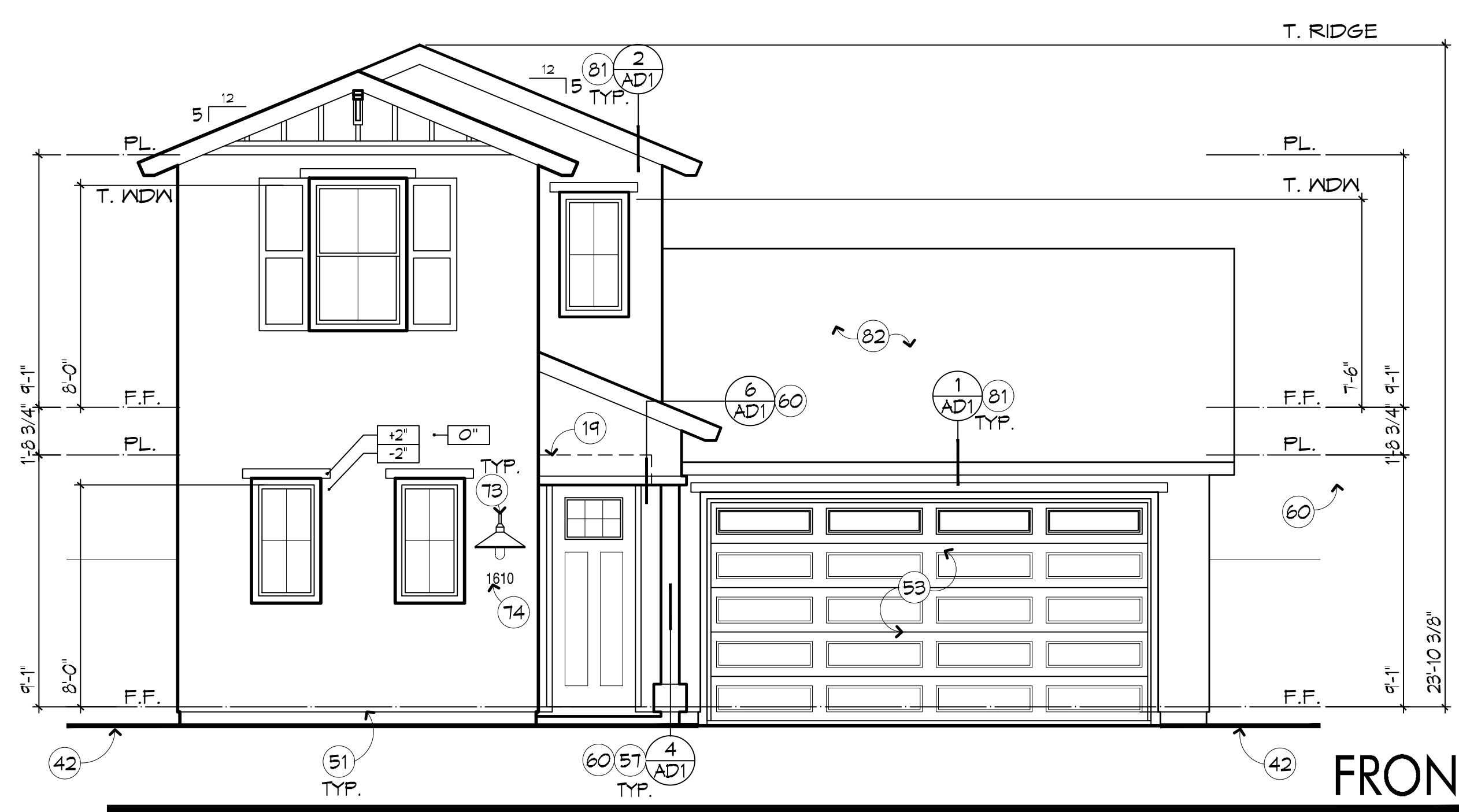
UPPER FLOOR PLAN  
ELEVATION A & B

LOWER FLOOR PLAN  
ELEVATION A & B

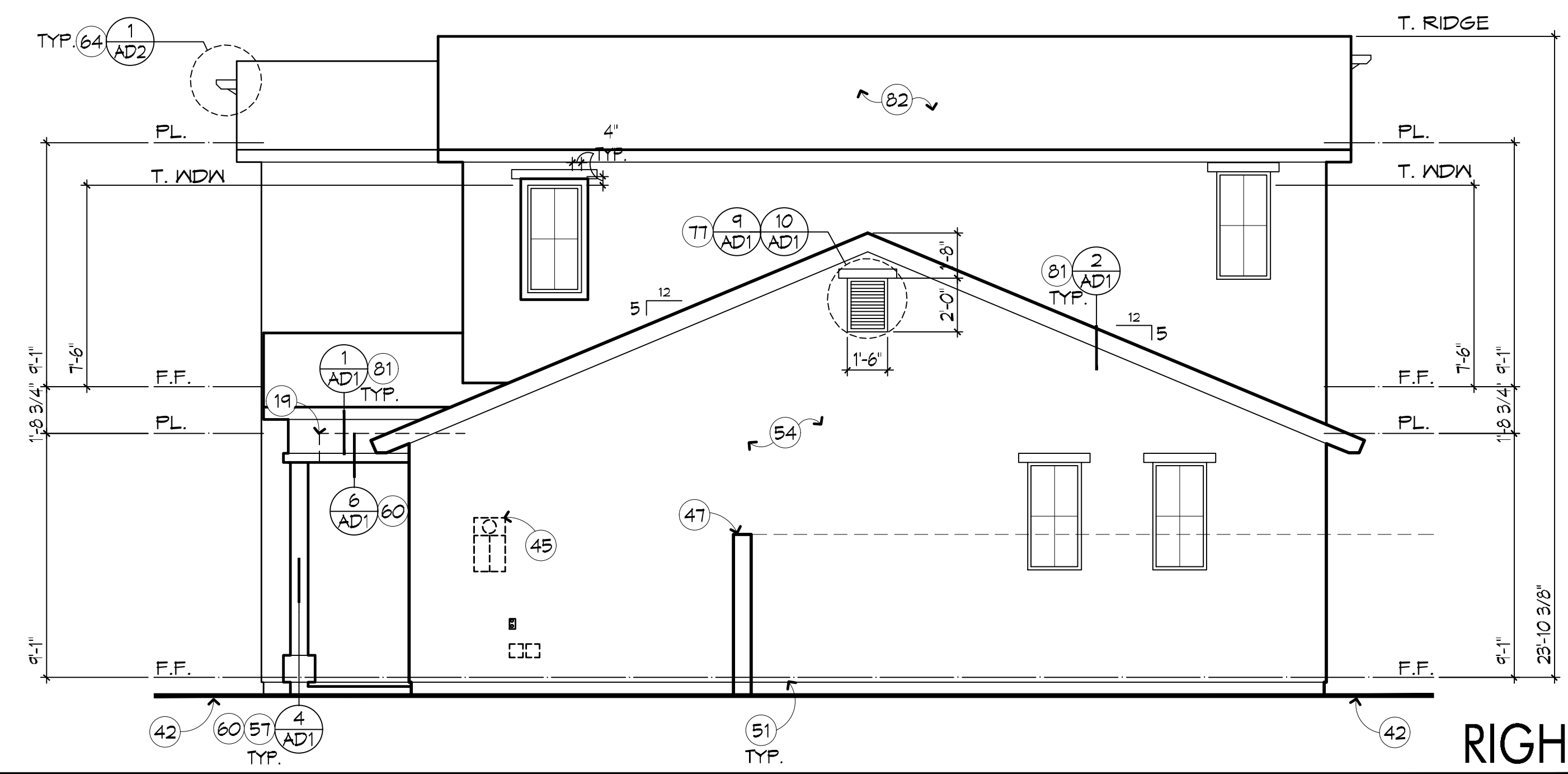
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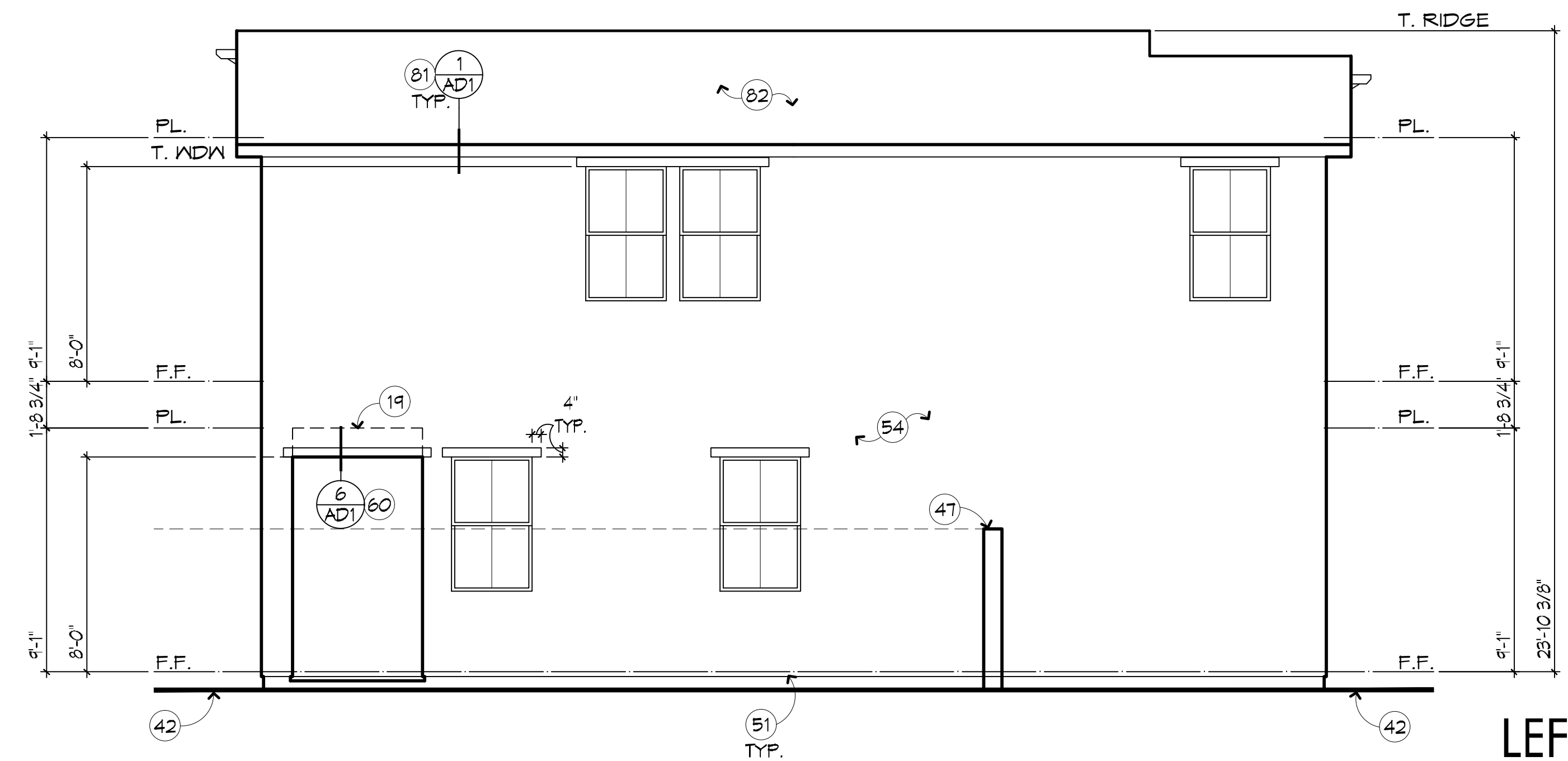
REAR



FRONT

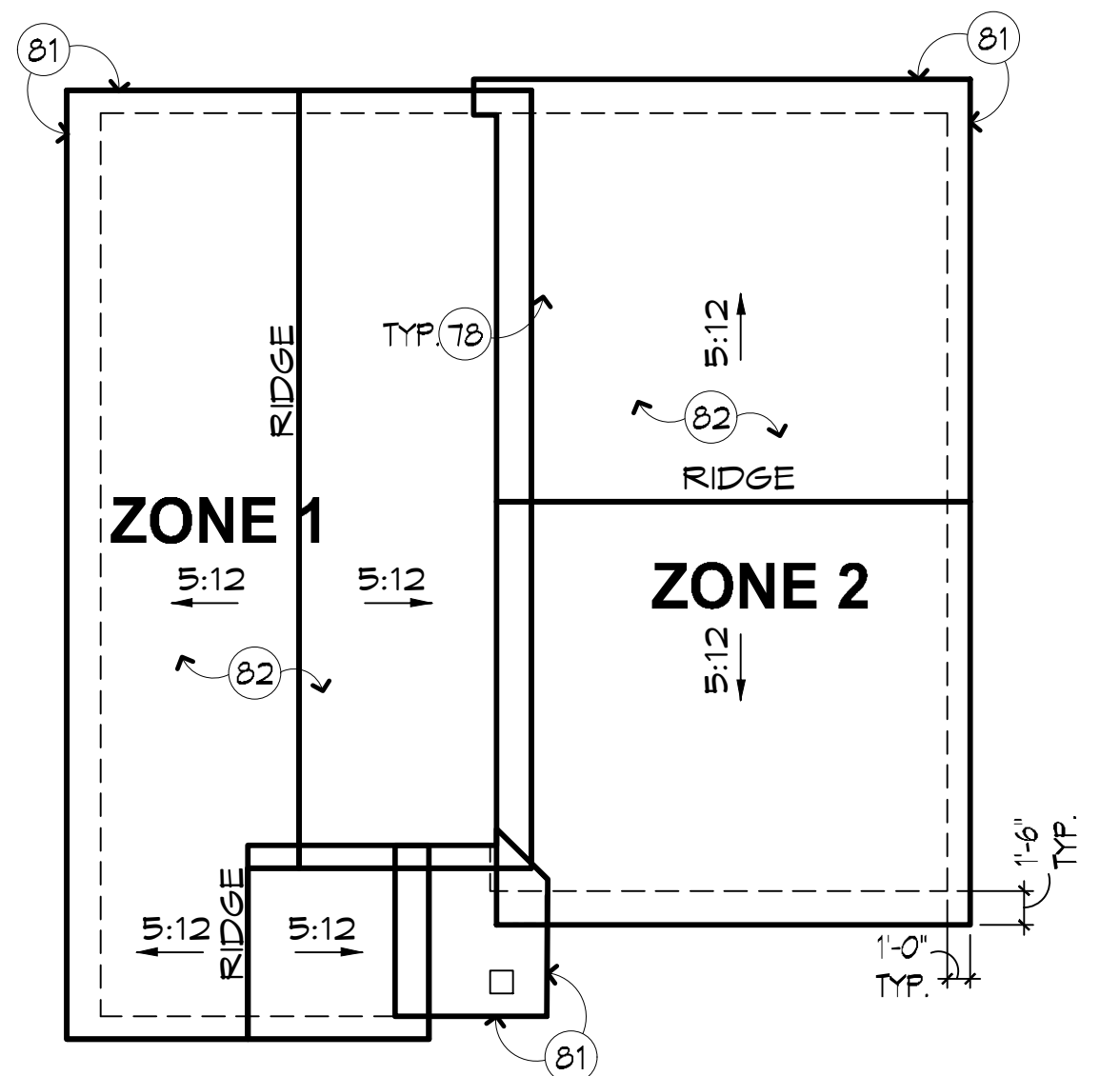


RIGHT



LEFT

ROOF VENT CALCULATIONS				
ZONE 1		ELEVATION "A"		
VENTED AREA: 999.61 SQ. FT.		1/300 RULE		
REQUIRED: 190.78 MIN., 238.48 MAX. HIGH SQ. IN.		476.96 SQ. IN. OVERALL, 238.48 LOW SQ. IN.		
VENT	TYPE	AREA	QTY.	TOTAL
O'HASH LOW	LOW	12.00 ea	4	288.00
O'HASH HIGH	HIGH	12.00 ea	3	216.00
		216.00 HIGH SQ. IN.		
		288.00 LOW SQ. IN.		
VENTING PROVIDED:		504.00 SQ. IN.		
ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION "A"		
VENTED AREA: 162.93 SQ. FT.		1/150 RULE		
REQUIRED: 159.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASH HIGH	HIGH	12.00 ea	3	216.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		216.00 SQ. IN.		



ROOF PLAN 1/8" = 1'-0"

GENERAL NOTES

- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
- REFER TO 6D SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
- ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS' BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
- FINISH DIMENSIONS AND OFFSET REFERENCES SHOWN ARE MEASURED TO FACE OF FINISH UNLESS REFERRED TO GENERAL DETAILS (6D) SHEETS FOR STANDARD DOOR / WINDOW HEADER HEIGHTS AND ADDITIONAL INFORMATION.

KEYED NOTES

- LINE OF CEILING BEYOND.
- FINISH GRADE. SLOPE MIN. 5% AWAY FROM BUILDING.
- UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.
- SITE WALL. (FINISH TO MATCH RESIDENCE)
- METAL WEEP SCREED.
- OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
- EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
- VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
- PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
- E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
- SHUTTERS.
- CORBELS / BRACKETS.
- LIGHT FIXTURE.
- STREET ADDRESS PLAQUE.
- DECORATIVE ATTIC VENT WITH STUCCO POP-OUT.
- ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
- FASCIA / BARGE.
- HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.



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Project Mgr: marcm  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

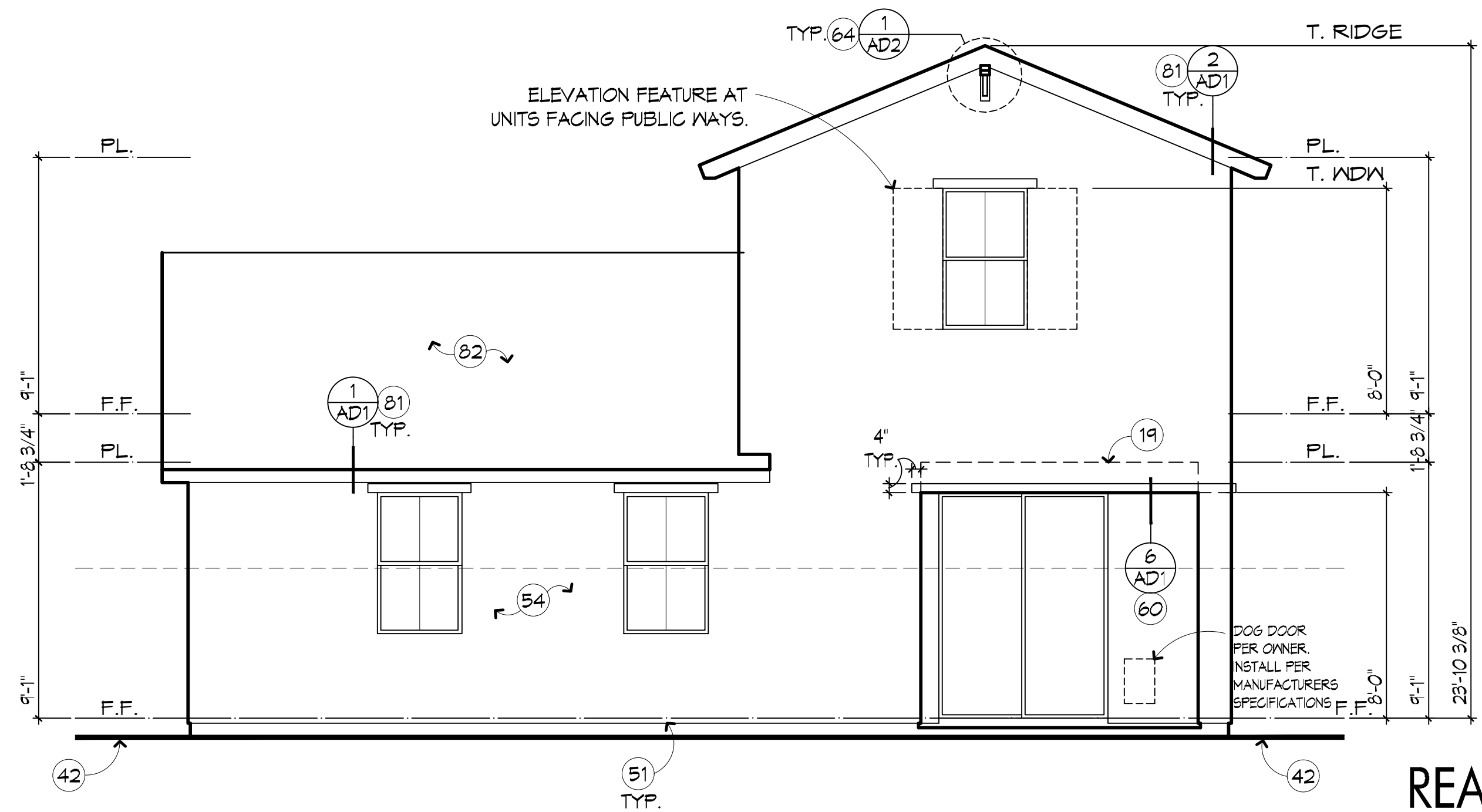
PLAN - 1406  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN A

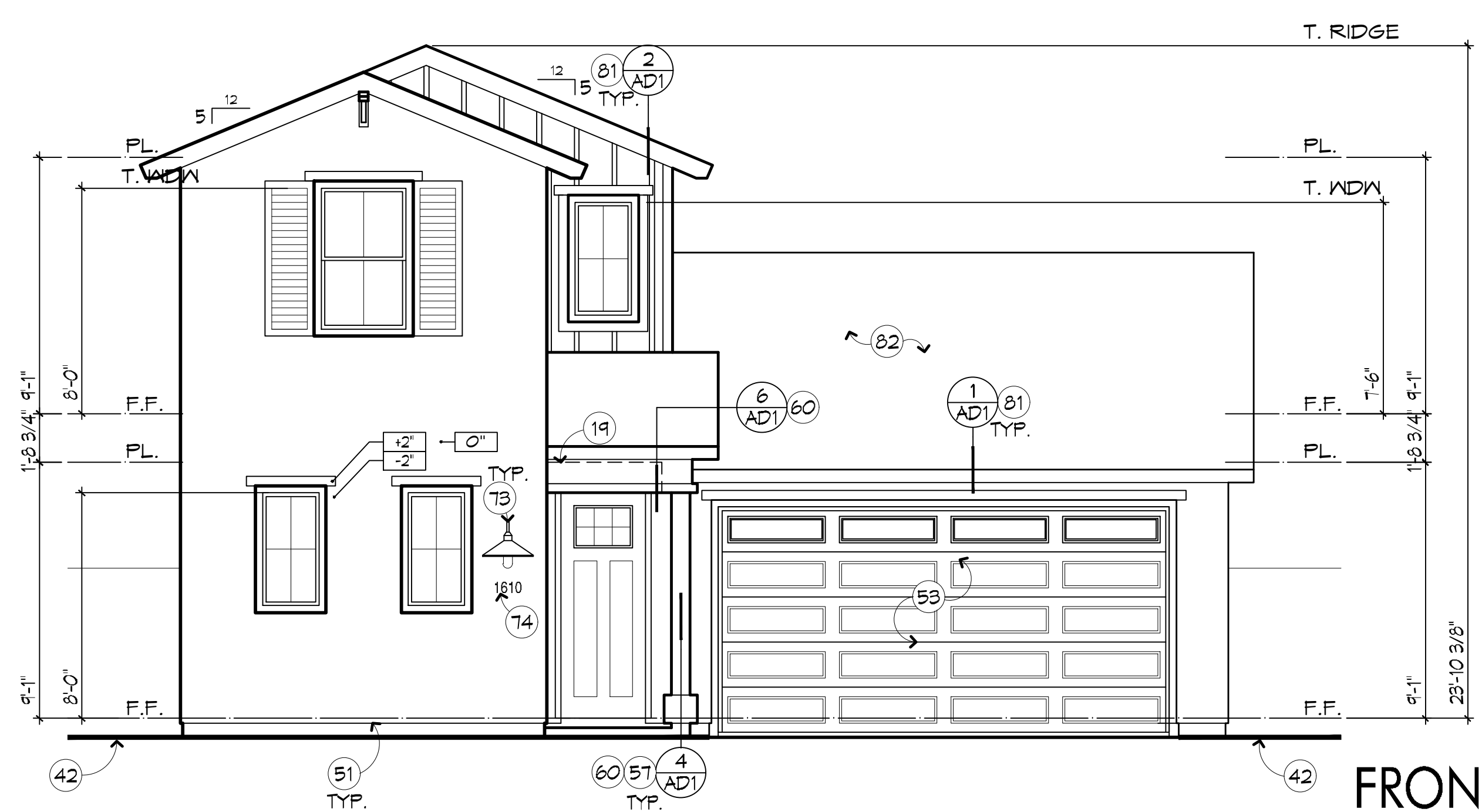
1/4" = 1'-0"

A2.1.0

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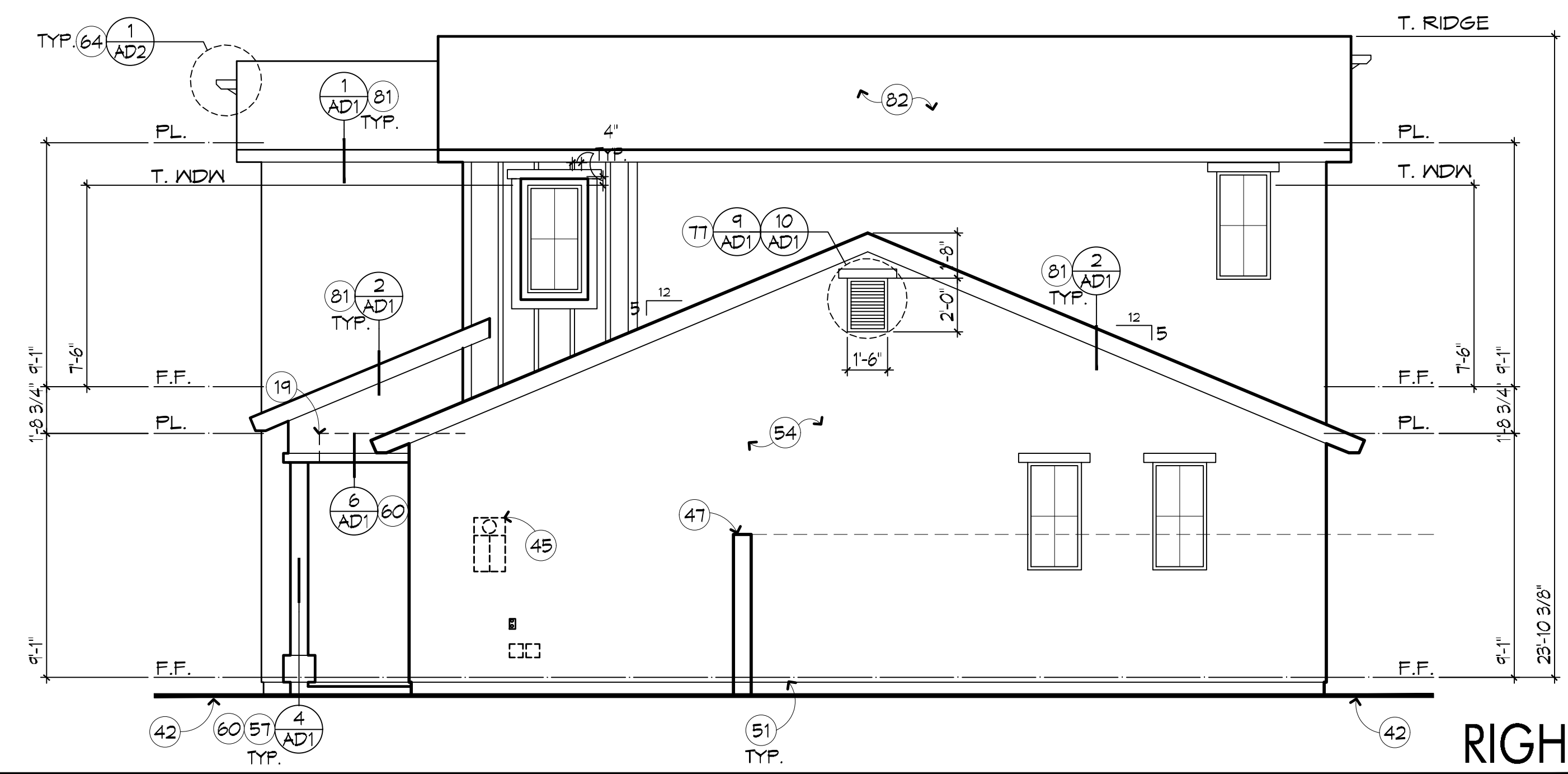


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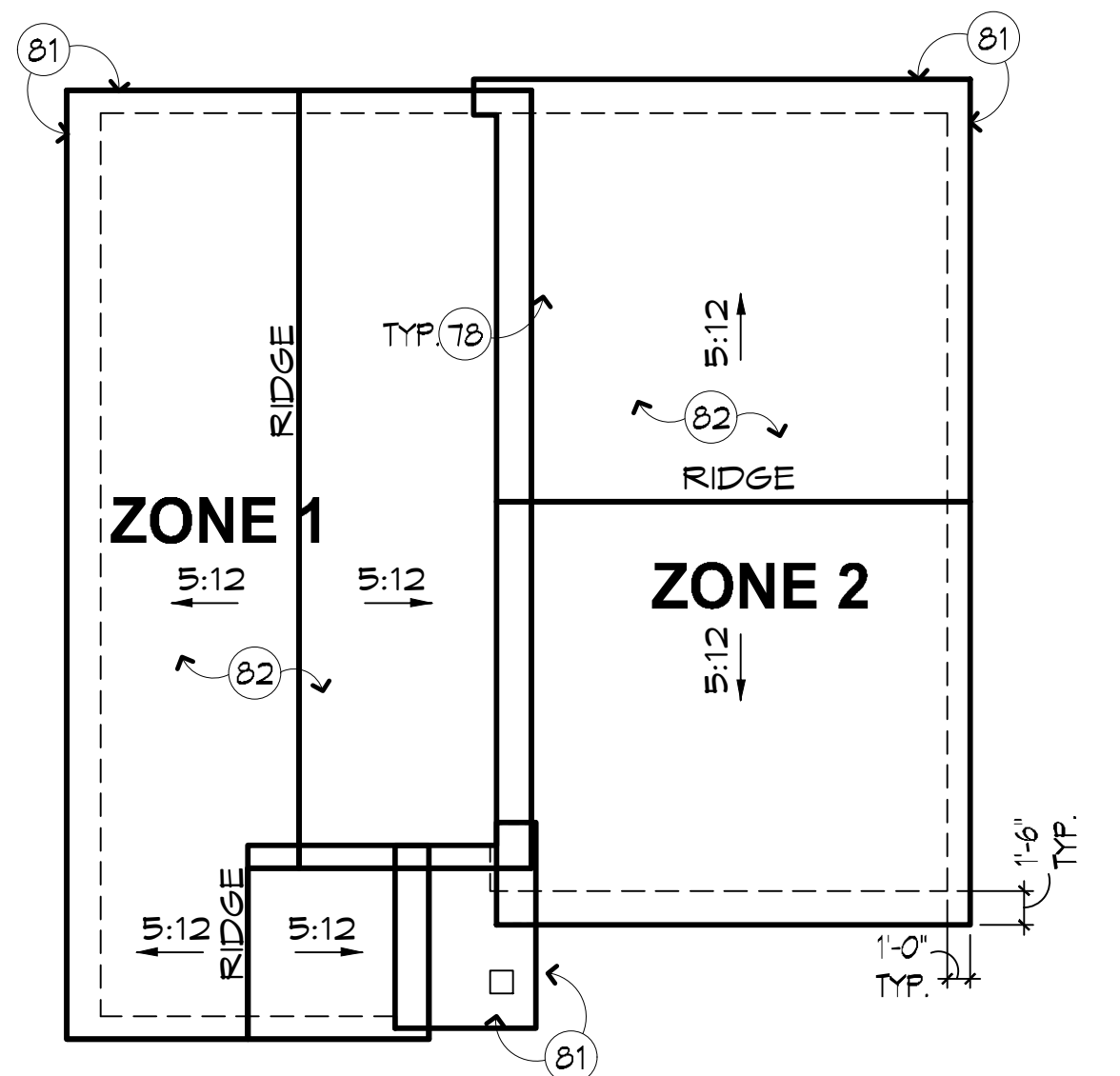


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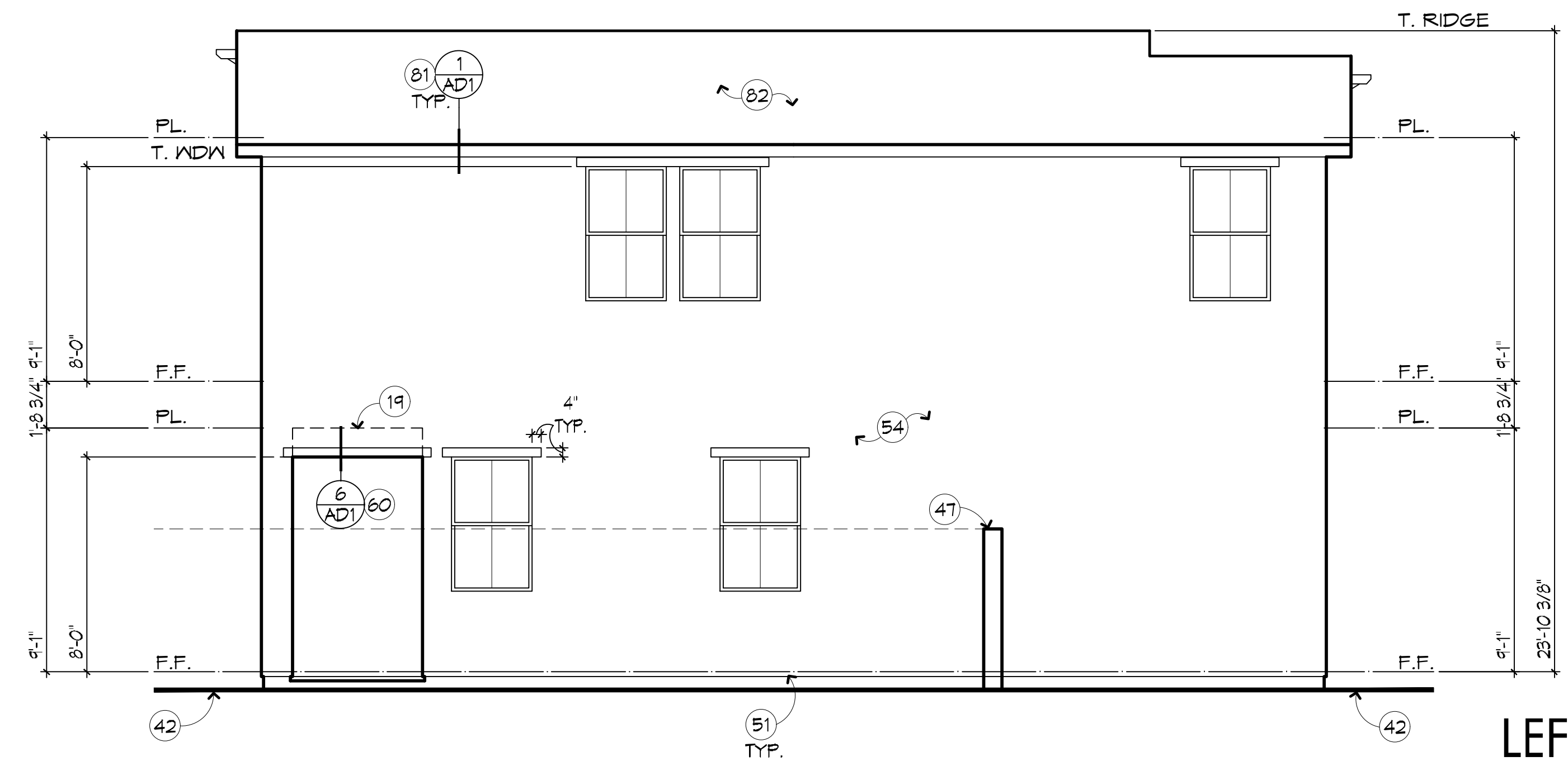
ROOF VENT CALCULATIONS				
ZONE 1		ELEVATION 'B'		
VENTED AREA: 993.61 SQ. FT.		1/300 RULE		
REQUIRED: 190.78 MIN., 238.48 MAX. HIGH SQ. IN.				
416.96 SQ. IN. OVERALL, 238.48 LOW SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASH LOW	LOW	12.00 ea	4	288.00
O'HASH HIGH	HIGH	12.00 ea	3	216.00
		216.00 HIGH SQ. IN.		
		288.00 LOW SQ. IN.		
VENTING PROVIDED:		504.00 SQ. IN.		
ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION 'B'		
VENTED AREA: 162.93 SQ. FT.		1/150 RULE		
REQUIRED: 155.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASH HIGH	HIGH	12.00 ea	3	216.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		216.00 SQ. IN.		



RIGHT



ROOF PLAN 1/8" = 1'-0"



LEFT

- GENERAL NOTES**
- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
  - REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
  - ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS' BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
  - FINISH DIMENSIONS AND OFFSET REFERENCES SHOWN ARE MEASURED TO FACE OF FINISH UNLESS REFERRED TO GENERAL DETAILS (GD) SHEETS FOR STANDARD DOOR / WINDOW HEADER HEIGHTS AND ADDITIONAL INFORMATION.
- KEYED NOTES**
- LINE OF CEILING BEYOND.
  - FINISH GRADE. SLOPE MIN. 5% AWAY FROM BUILDING.
  - UTILITY SERVICE; LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.
  - SITE WALL. (FINISH TO MATCH RESIDENCE)
  - METAL WEEP SCREED.
  - OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
  - EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
  - VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
  - PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
  - E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
  - SHUTTERS.
  - CORBELS / BRACKETS.
  - LIGHT FIXTURE.
  - STREET ADDRESS PLAQUE.
  - DECORATIVE ATTIC VENT WITH STUCCO POP-OUT.
  - ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
  - FASCIA / BARGE.
  - HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.



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JOB NUMBER: 20-003C  
Project Mgr: marcm  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

PLAN - 1406  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN B

1/4" = 1'-0"

A2.1.1

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07/14/2020 14:01:38



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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

PLAN - 1482  
FIDDYMENT  
RANCH  
CITY OF COSEVILLE, CALIFORNIA

FLOOR PLAN  
ELEVATION A & B

1/4" = 1'-0"  
A1.1.0

**GENERAL NOTES**

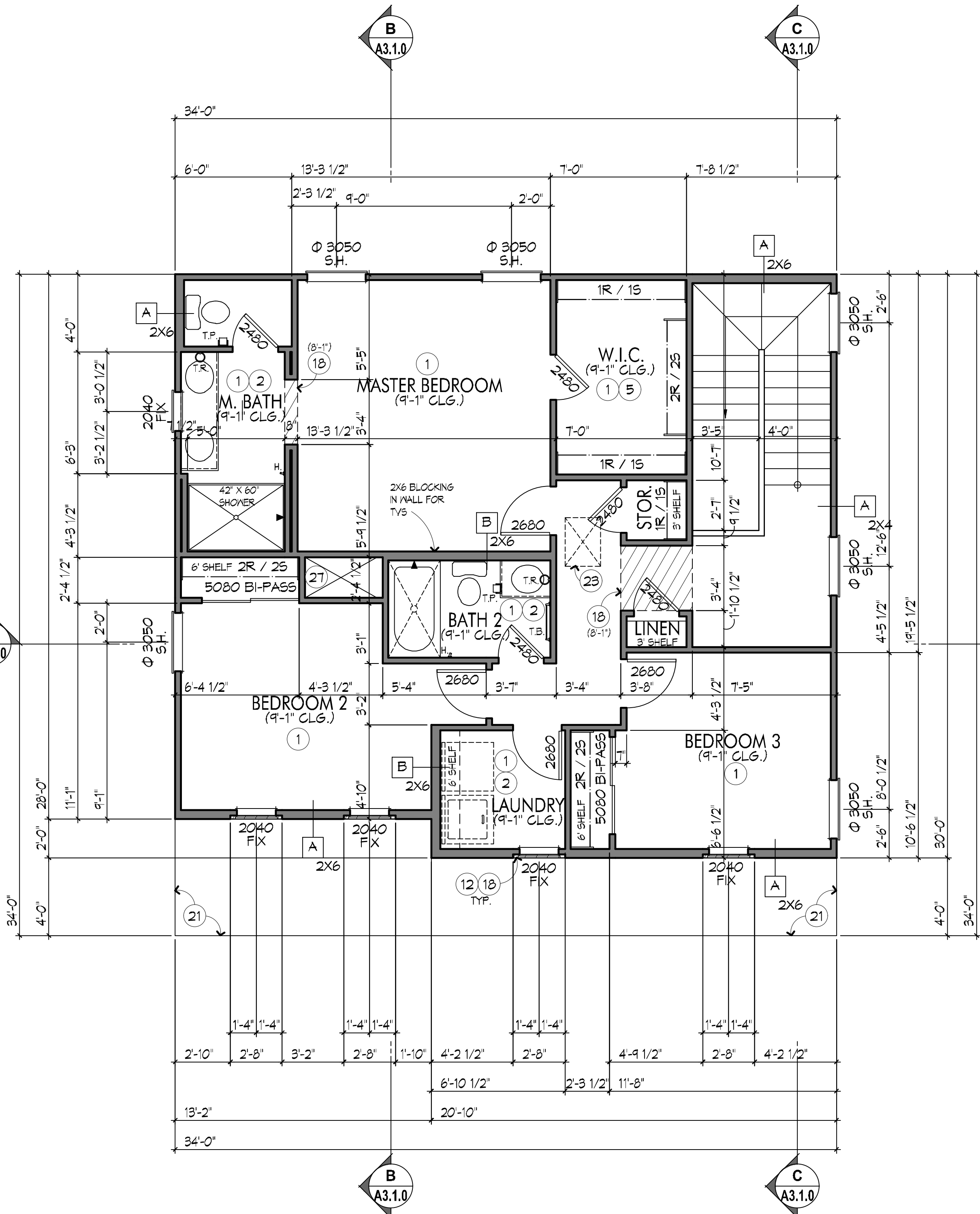
- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
- REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
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- DIMENSIONS OF FLOOR PLAN(S) AND INTERIOR ELEVATIONS ARE SHOWN TO FACE OF STUD TYPICALLY UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS OF ALL DOOR AND WINDOW UNITS PRIOR TO START OF CONSTRUCTION.
- PROVIDE INSULATION AT ALL WALL AND CEILING LOCATIONS SEPARATING CONDITIONED FROM NON-CONDITIONED SPACES. REFER TO WALL SCHEDULE AND ARCHITECTURAL NOTES FOR MINIMUM WALL AND CEILING INSULATION REQUIREMENTS.

**KEYED NOTES**

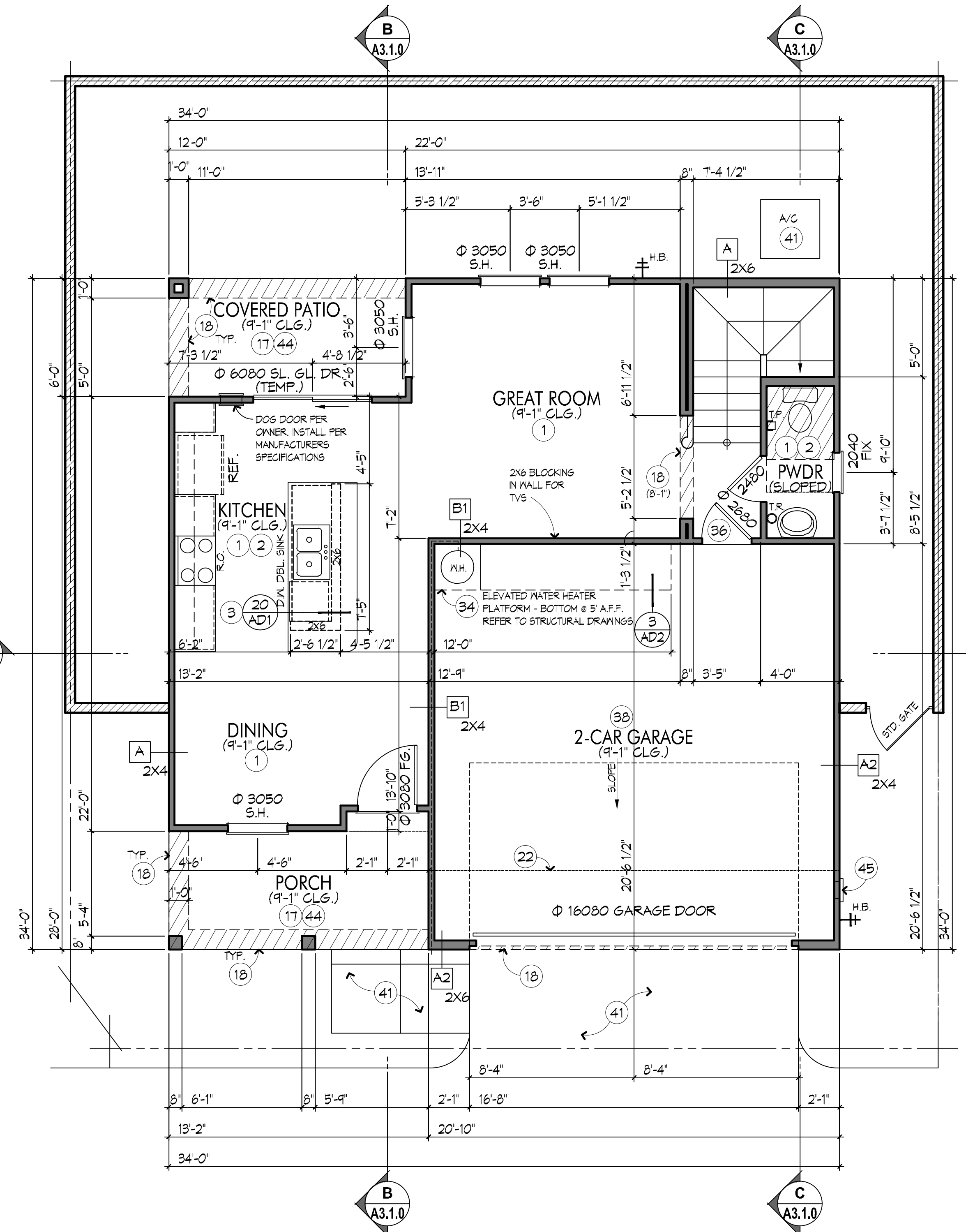
- COORDINATE FINISH FLOOR MATERIAL AND LIMIT OF FINISH W/ OWNER.
- COORDINATE CABINETRY/ SHELVING/ HARDWARE WITH BUILDER. SEE SPECIFICATIONS AND DETAILS/ INTERIOR ELEVATIONS ON SHEET A4.1.0.
- ISLAND / PENINSULA CONTRACTOR TO COORDINATE 2X PONY WALL HEIGHT AND MATERIAL WITH BUILDER. PROVIDE ELECTRICAL CONDUIT IN FLOOR SLAB AS REQUIRED. COORDINATE WITH ALL TRADES.
- COORDINATE CLOSET ROD AND/OR SHELF(S) WITH BUILDER. CEILING HEIGHT TO MATCH ADJACENT ROOM UNLS.
- EXTERIOR ARCHITECTURAL FEATURE. REFER TO ELEVATIONS and/ OR FLOOR PLANS FOR ADDL. INFO. PROVIDE (2) LAYERS BUILDING PAPER AND A BITUMINOUS MEMBRANE AT ALL FLAT SURFACES. PROVIDE SLOPE FOR DRAINAGE.
- EXTERIOR GYPSUM SOFFIT BOARD AT CEILING. REFER TO ARCHITECTURAL NOTES FOR ADDL. INFO.
- LINE OF SOFFIT/ CEILING TRANSITION. REFER TO INTERIOR ELEVATIONS and/ OR EXTERIOR ELEVATIONS FOR ADDL. INFO.
- LINE OF FIRST FLOOR BELOW.
- LINE OF STRUCTURE ABOVE.
- ATTIC SCUTTLE. REFER TO ARCHITECTURAL NOTES.
- A/C CHASE.
- WATER HEATER ON +18" HIGH PLATFORM WITH T. & P.R.V. FULL-SIZE DRAIN LINE TO EXTERIOR, MIN. 6" ABOVE GRADE. REFER TO ARCHITECTURAL NOTES.
- PROVIDE 1 3/4" SOLID CORE WOOD DOOR AND FRAME. SELF-CLOSING. SELF-LATCHING WITH SMOKE CONTROL SWEEPS AND SEALS AT THIS LOCATION.
- (1) LAYER 1/2" GYPSUM BOARD AT GARAGE CEILING. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD SHALL BE REQUIRED AT ENTIRE GARAGE CEILING WHEN FLOOR FRAMING IS ABOVE.
- EXTERIOR FLATWORK. REFER TO ARCHITECTURAL NOTES.
- CONC. SLAB. SLOPE 1/8" PER FOOT AWAY FROM BUILDING. REFER TO STRUCTURAL DRAWINGS.
- UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.

**WALL SCHEDULE**

- PROVIDE WATER RESISTIVE GYPSUM BOARD @ ALL WET AREAS (IRC 102.3). NOT PERMITTED AT SHOWERS AND OTHER AREAS OF HIGH HUMIDITY.
- NOTE: REFER TO STRUCTURAL PLANS FOR LOCATIONS OF SHEAR WALL AND BEARING WALL CONDITIONS. COORDINATE WITH THIS PLAN.
- EXTERIOR FINISH/ E.I.F.S. PER SPECIFICATIONS. EXTERIOR FACE REFER TO ELEVATIONS FOR ADDL. FINISH APPLICATIONS.
- 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DWGS.
- INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY.
- 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
- SAME AS 'A', EXCEPT:
- NO INSULATION @ WALL
- 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DWGS.
- 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
- SAME AS 'B', EXCEPT:
- INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY.



UPPER FLOOR PLAN  
ELEVATION A & B



LOWER FLOOR PLAN  
ELEVATION A & B

05/20/2020 07:07:31  
05/20/2020 08:21:58  
05/20/2020 17:02:44  
05/21/2020 08:24:58  
05/21/2020 08:28:53  
05/21/2020 16:03:28  
05/21/2020 16:24:37  
05/28/2020 08:32:38  
05/28/2020 11:01:46  
07/14/2020 13:57:40



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JOB NUMBER: 20-003C  
Project Mgr: marcm  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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**Curve DEVELOPMENT**  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

**PLAN - 1482**  
**FIDDYMENT RANCH**  
CITY OF COSVILLE, CALIFORNIA

FLOOR PLAN  
ELEVATION C & D

1/4" = 1'-0"

A1.1.1

**GENERAL NOTES**

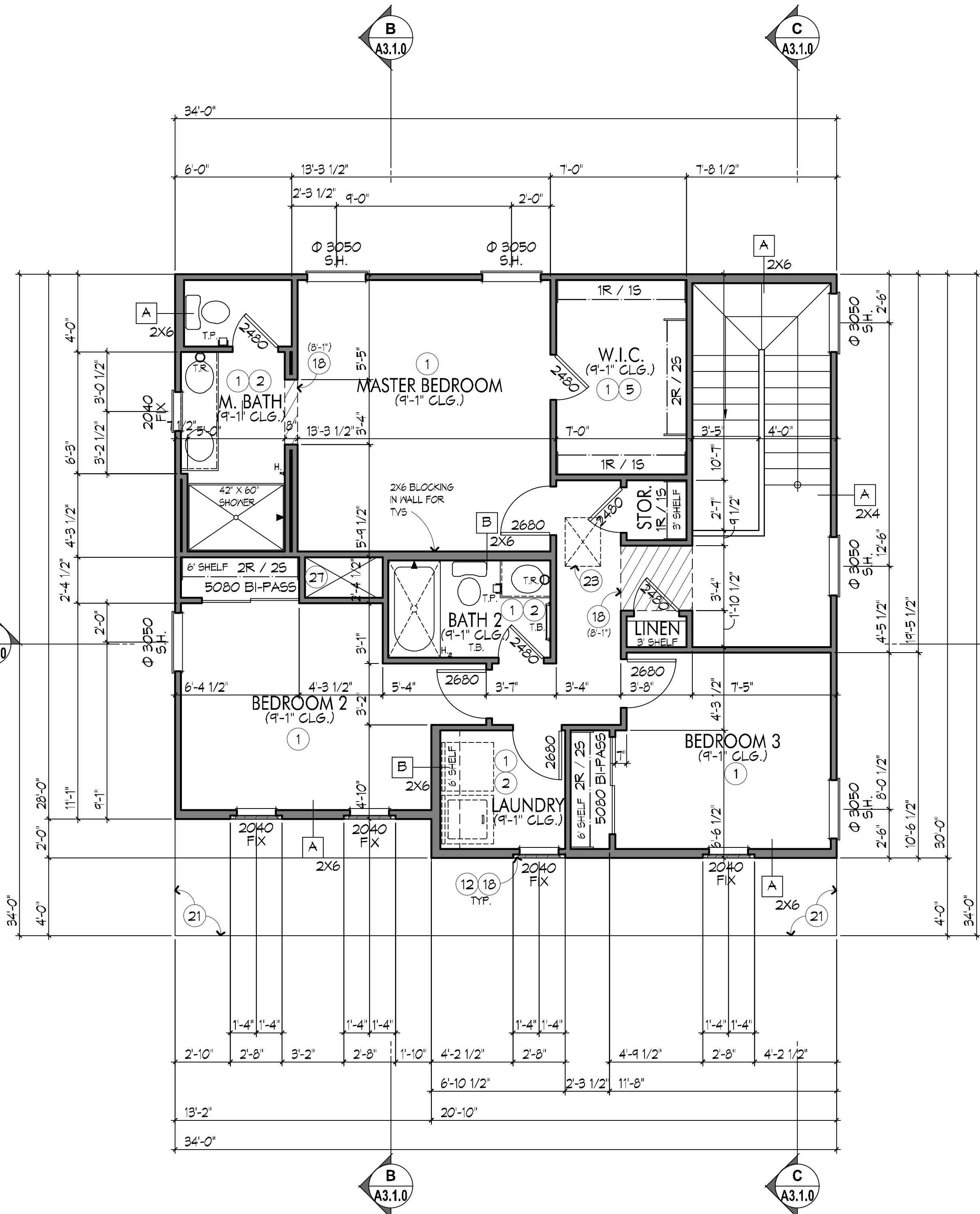
- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
- REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
- ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
- DIMENSIONS OF FLOOR PLAN(S) AND INTERIOR ELEVATIONS ARE SHOWN TO FACE OF STUD TYPICALLY UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS OF ALL DOOR AND WINDOW UNITS PRIOR TO START OF CONSTRUCTION.
- PROVIDE INSULATION AT ALL WALL AND CEILING LOCATIONS SEPARATING CONDITIONED FROM NON-CONDITIONED SPACES. REFER TO WALL SCHEDULE AND ARCHITECTURAL NOTES FOR MINIMUM WALL AND CEILING INSULATION REQUIREMENTS.

**KEYED NOTES**

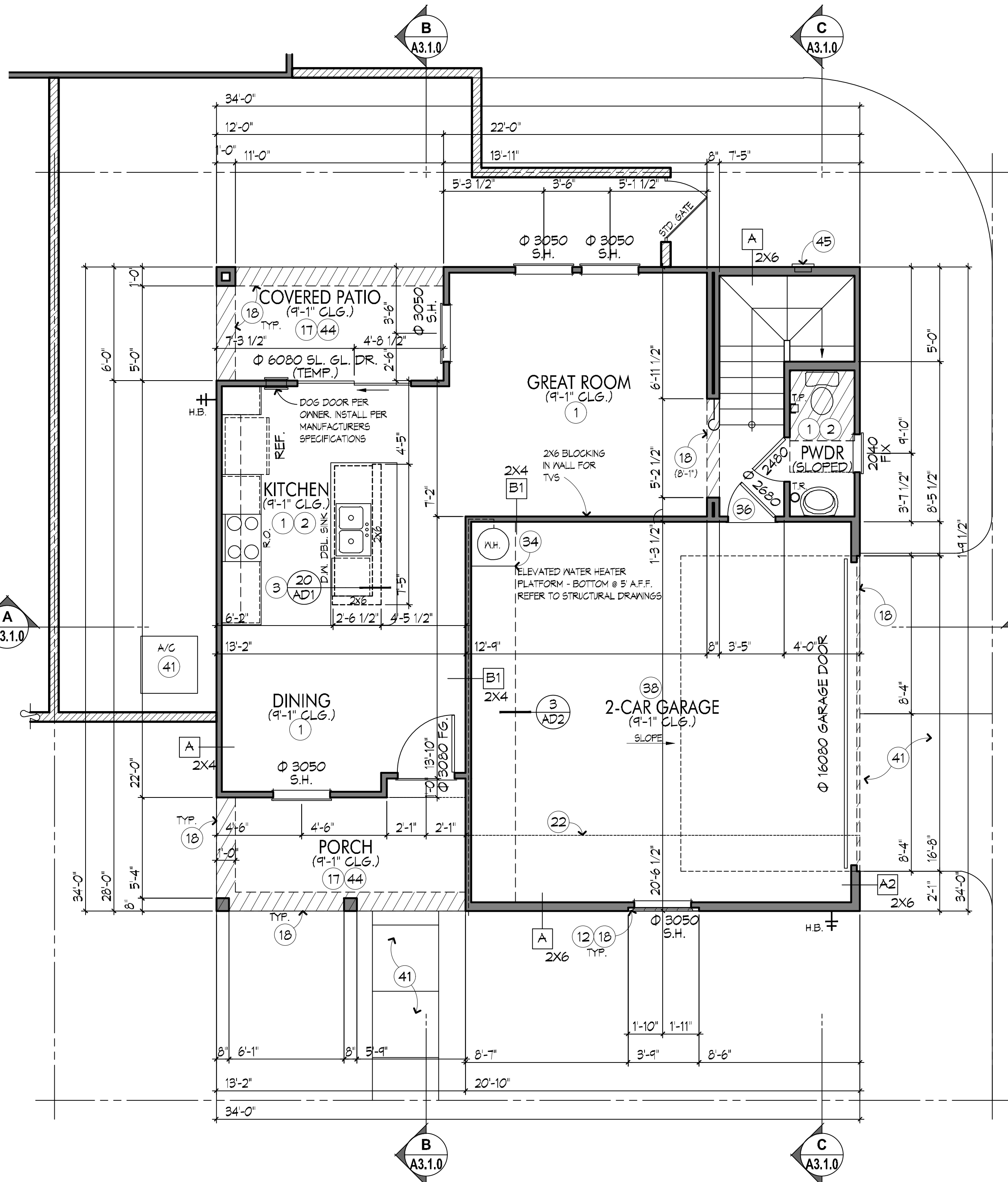
- COORDINATE FINISH FLOOR MATERIAL AND LIMIT OF FINISH W/ OWNER.
- COORDINATE CABINETRY, SHELVING/ HARDWARE WITH BUILDER. SEE SPECIFICATIONS AND DETAILS/ INTERIOR ELEVATIONS ON SHEET A4.1.0.
- ISLAND / PENINSULA CONTRACTOR TO COORDINATE 2X PONY WALL HEIGHT AND MATERIAL WITH BUILDER. PROVIDE ELECTRICAL CONDUIT IN FLOOR SLAB AS REQUIRED. COORDINATE WITH ALL TRADES.
- COORDINATE CLOSET ROD AND/OR SHELF(S) WITH BUILDER. CEILING HEIGHT TO MATCH ADJACENT ROOM UNLS.
- EXTERIOR ARCHITECTURAL FEATURE. REFER TO ELEVATIONS and/ OR FLOOR PLANS FOR ADDL. INFO. PROVIDE (2) LAYERS BUILDING PAPER AND A BITUMINOUS MEMBRANE AT ALL FLAT SURFACES. PROVIDE SLOPE FOR DRAINAGE.
- EXTERIOR GYPSUM SOFFIT BOARD AT CEILING. REFER TO ARCHITECTURAL NOTES FOR ADDL. INFO.
- LINE OF SOFFIT/ CEILING TRANSITION. REFER TO INTERIOR ELEVATIONS and/ OR EXTERIOR ELEVATIONS FOR ADDL. INFO.
- LINE OF FIRST FLOOR BELOW.
- LINE OF STRUCTURE ABOVE.
- ATTIC SCUTTLE. REFER TO ARCHITECTURAL NOTES.
- A/C CHASE.
- WATER HEATER ON +18" HIGH PLATFORM WITH T. & P.R.V. FULL-SIZE DRAIN LINE TO EXTERIOR, MIN. 6" ABOVE GRADE. REFER TO ARCHITECTURAL NOTES.
- PROVIDE 1 3/4" SOLID CORE WOOD DOOR AND FRAME. SELF-CLOSING. SELF-LATCHING WITH SMOKE CONTROL SWEEPS AND SEALS AT THIS LOCATION.
- (1) LAYER 1/2" GYPSUM BOARD AT GARAGE CEILING. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD SHALL BE REQUIRED AT ENTIRE GARAGE CEILING WHEN FLOOR FRAMING IS ABOVE.
- EXTERIOR FLATWORK. REFER TO ARCHITECTURAL NOTES.
- CONC. SLAB. SLOPE 1/8" PER FOOT AWAY FROM BUILDING. REFER TO STRUCTURAL DRAWINGS.
- UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.

**WALL SCHEDULE**

- PROVIDE WATER RESISTIVE GYPSUM BOARD @ ALL WET AREAS (IRC 102.3). NOT PERMITTED AT SHOWERS AND OTHER AREAS OF HIGH HUMIDITY.
- EXTERIOR FINISH/ E.I.F.S. PER SPECIFICATIONS. EXTERIOR FACE REFER TO ELEVATIONS FOR ADDL. FINISH APPLICATIONS.
- 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DNGS.
- INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY.
- 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
- SAME AS 'A', EXCEPT:
- NO INSULATION @ MALL
- 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DNGS.
- 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
- SAME AS 'B', EXCEPT:
- INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY.

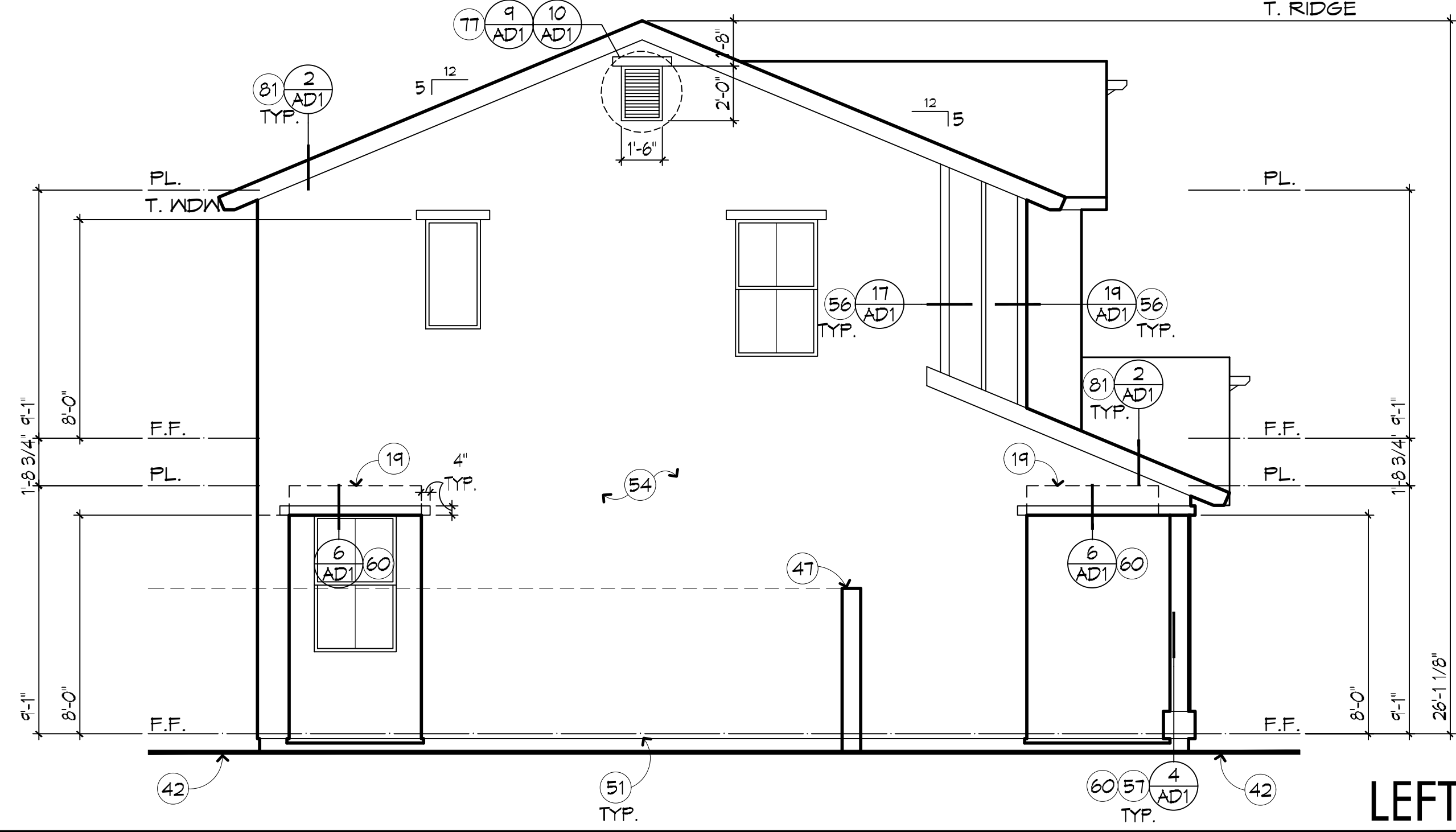
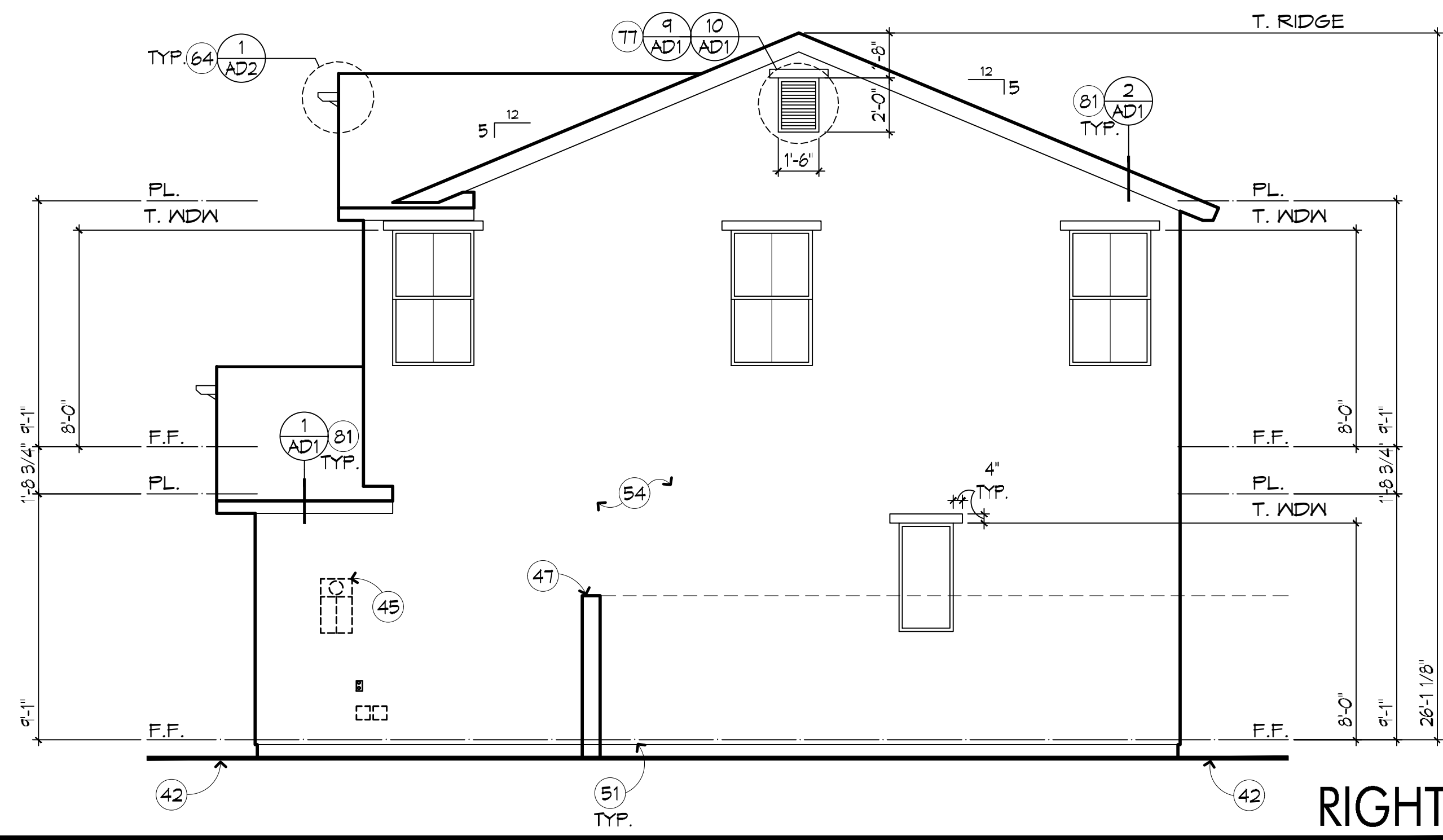
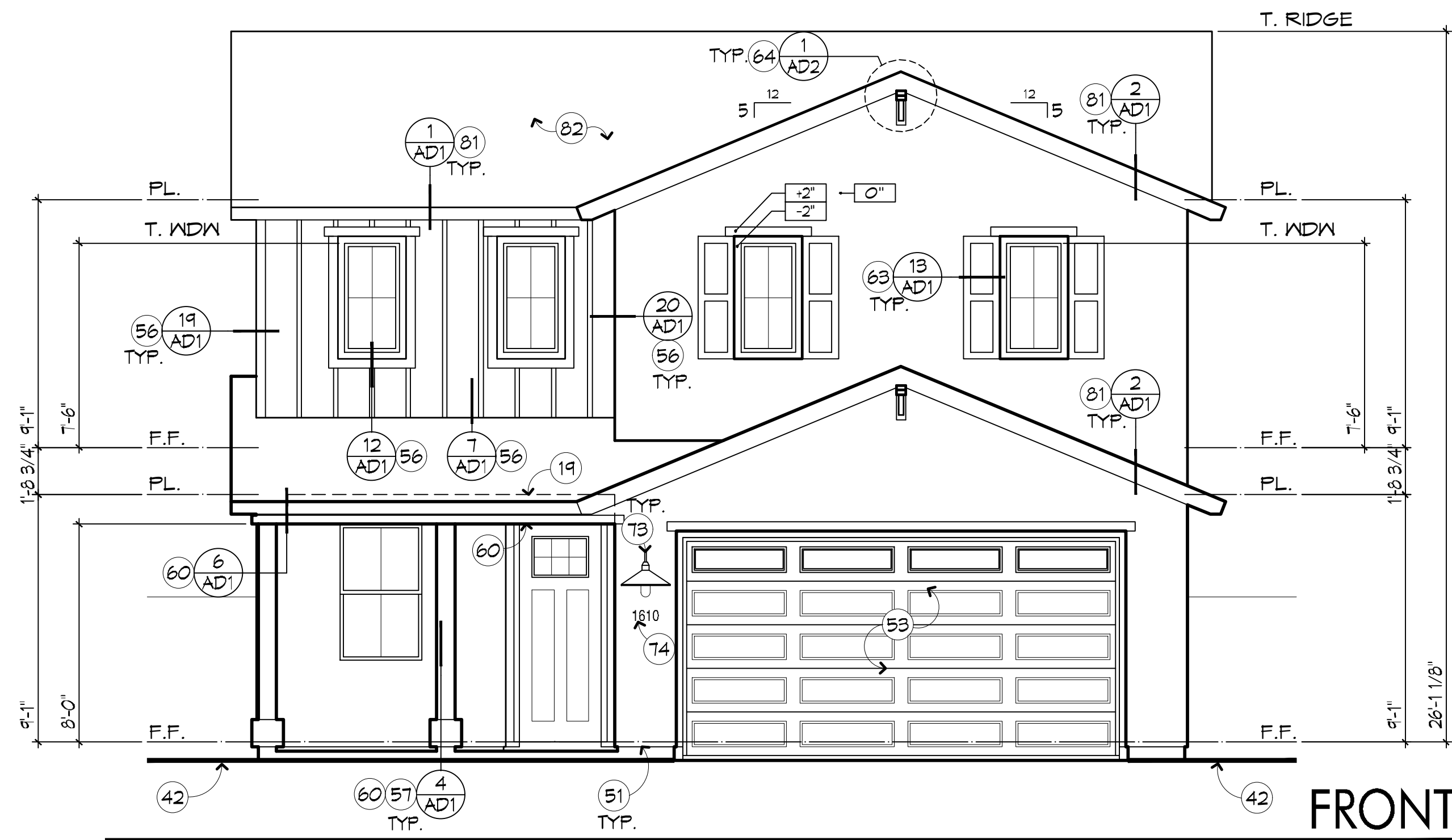
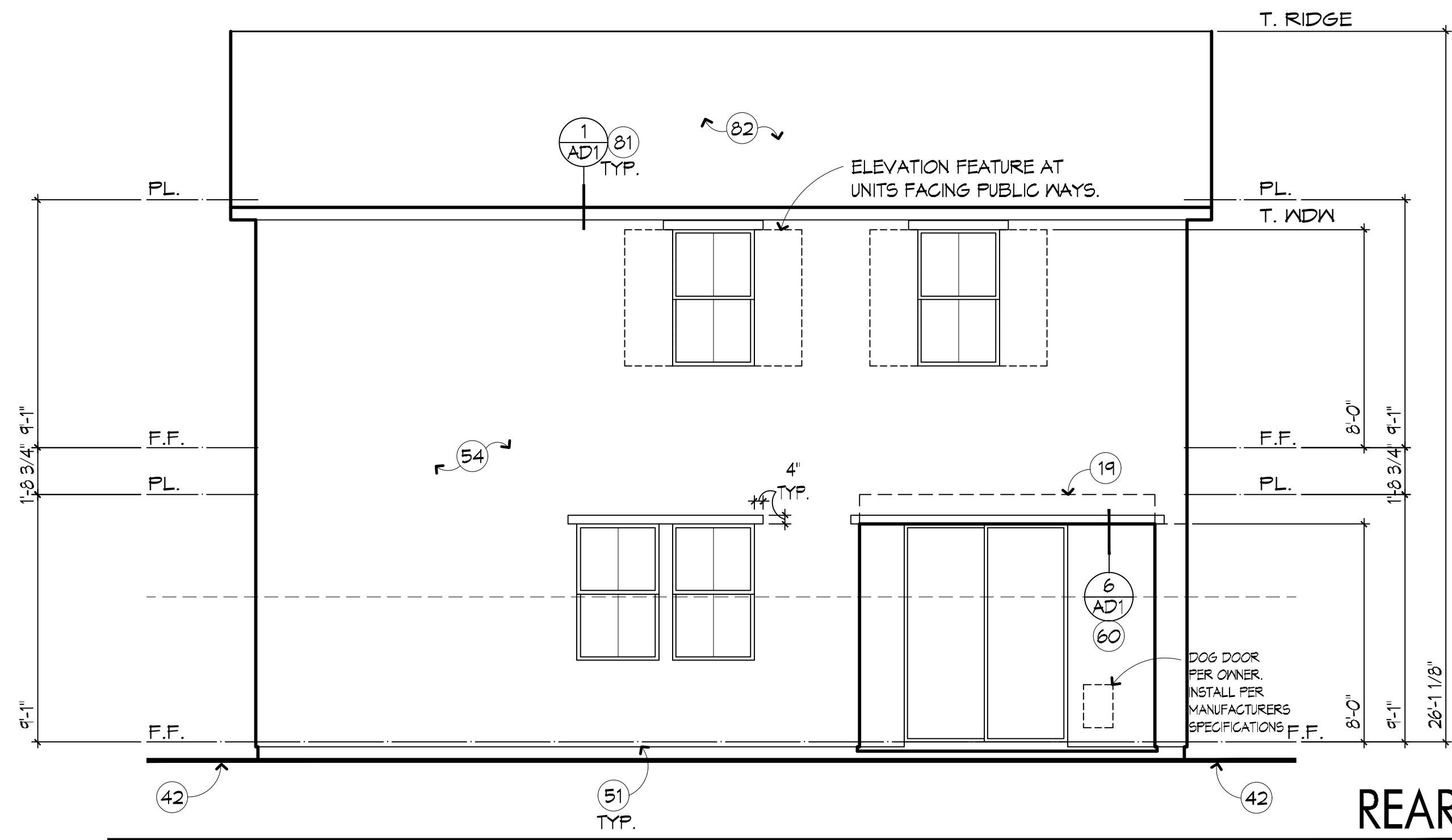


**UPPER FLOOR PLAN**  
ELEVATION C & D



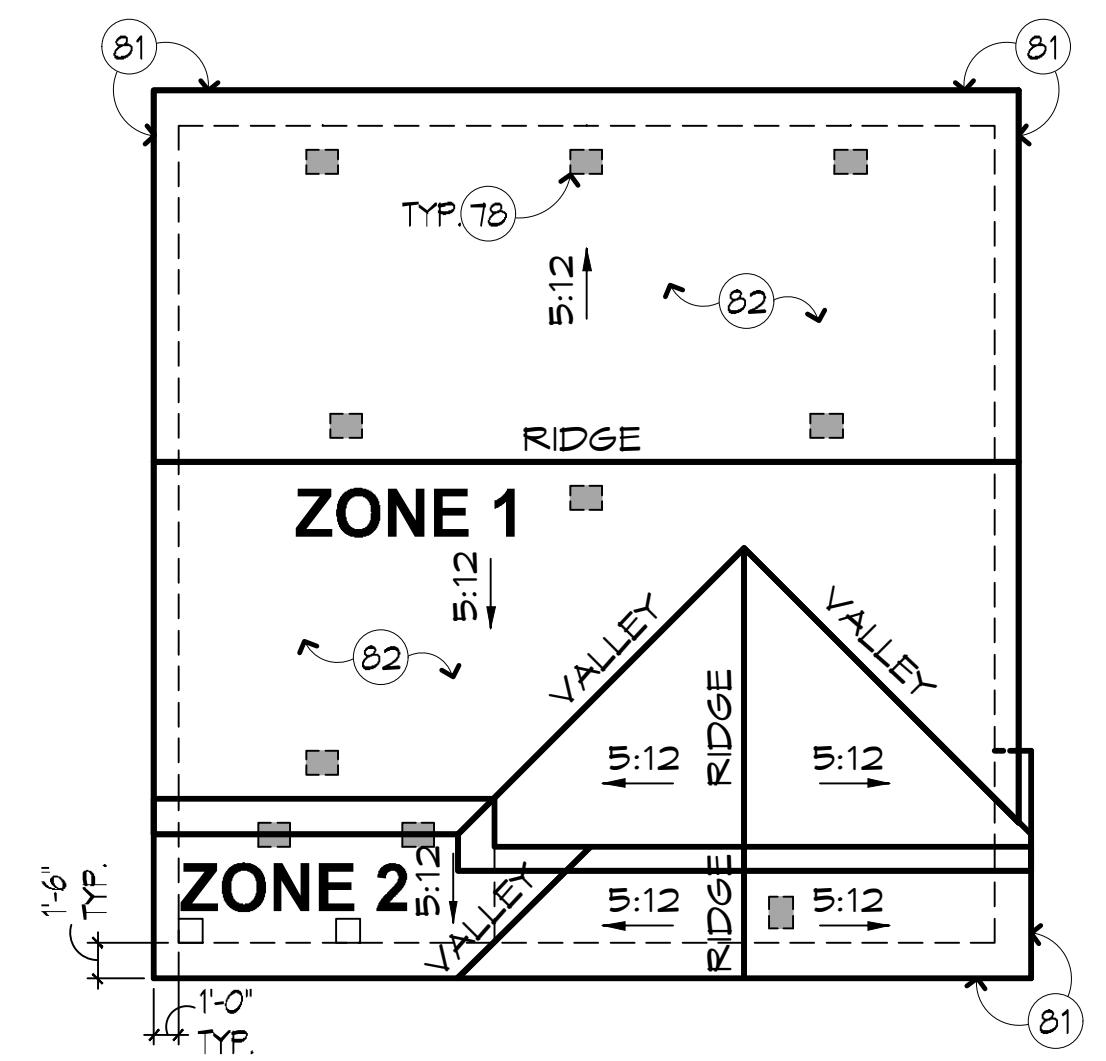
**LOWER FLOOR PLAN**  
ELEVATION C & D

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05/21/2020 16:25:30  
05/28/2020 08:32:06  
07/14/2020 13:57:54



- ### GENERAL NOTES
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  - REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
  - ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
  - FINISH DIMENSIONS AND OFFSET REFERENCES SHOWN ARE MEASURED TO FACE OF FINISH U.N.O. REFER TO GENERAL DETAILS (GD) SHEETS FOR STANDARD DOOR / WINDOW HEADER HEIGHTS AND ADDITIONAL INFORMATION.
- ### KEYED NOTES
- LINE OF CEILING BEYOND.
  - FINISH GRADE. SLOPE MIN. 5% AWAY FROM BUILDING.
  - UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.
  - SITE WALL. (FINISH TO MATCH RESIDENCE)
  - METAL WEEP SCREED.
  - OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
  - EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
  - VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
  - PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
  - E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
  - SHUTTERS.
  - CORBELS / BRACKETS.
  - LIGHT FIXTURE.
  - STREET ADDRESS PLAQUE.
  - DECORATIVE ATTIC VENT WITH STUCCO POP-OUT.
  - ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
  - FASCIA / BARGE.
  - HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.

ROOF VENT CALCULATIONS				
ZONE 1		ELEVATION "A"		
VENTED AREA: 999.61 SQ. FT.		1/300 RULE		
REQUIRED: 190.78 MIN., 238.48 MAX. HIGH SQ. IN.		476.96 SQ. IN. OVERALL, 238.48 LOW SQ. IN.		
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN LOW	LOW	T2.00 ea	4	288.00
O'HASHN HIGH	HIGH	T2.00 ea	3	216.00
		216.00 HIGH SQ. IN.		
		288.00 LOW SQ. IN.		
VENTING PROVIDED:		504.00 SQ. IN.		
ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION "A"		
VENTED AREA: 162.93 SQ. FT.		1/150 RULE		
REQUIRED: 155.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN HIGH	HIGH	T2.00 ea	3	216.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		216.00 SQ. IN.		



Linderoth Associates  
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8135 E Indian Bend Road, Suite 103  
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P480.941.0840 F480.941.1041

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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

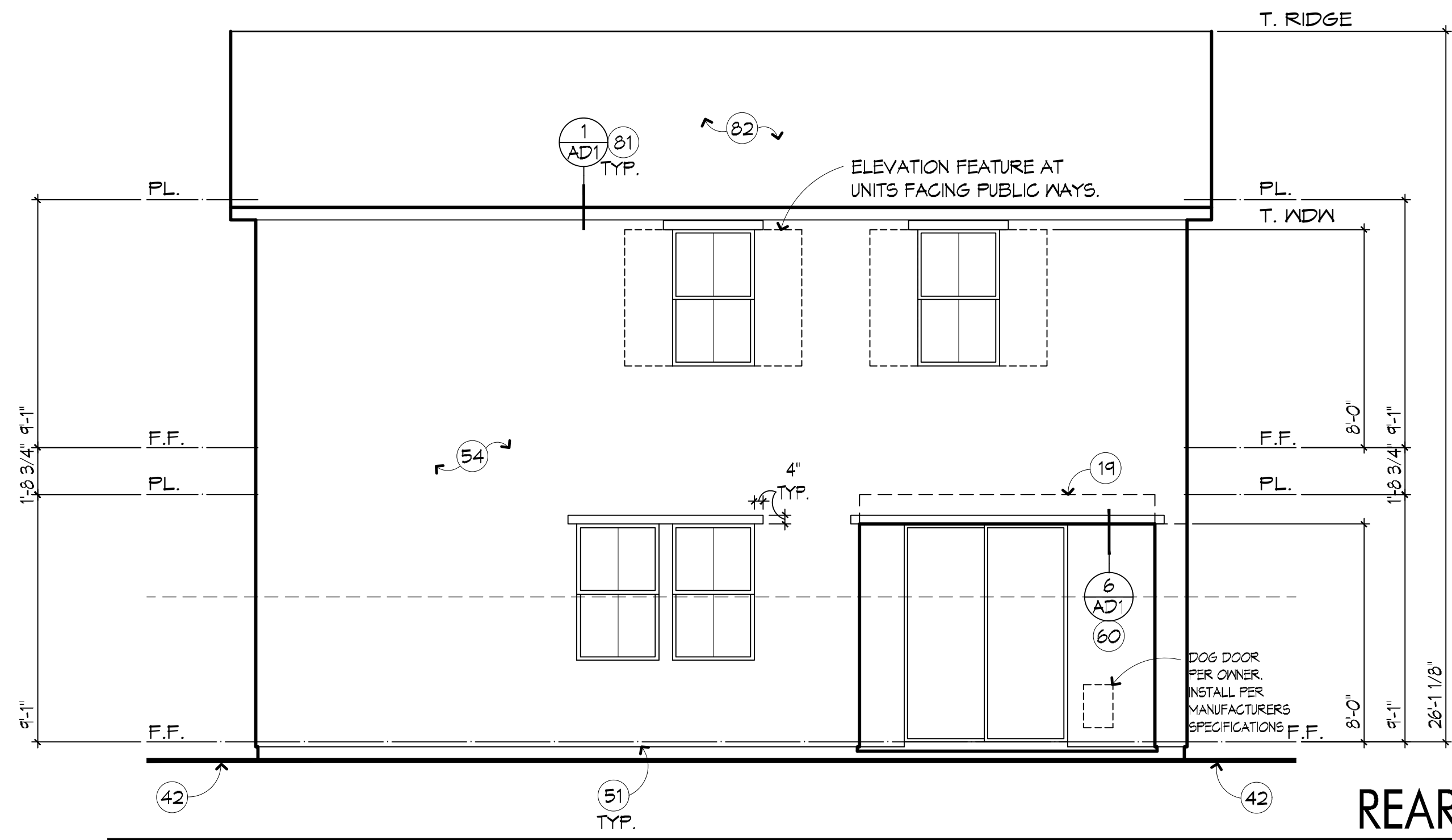
PLAN - 1482  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN A

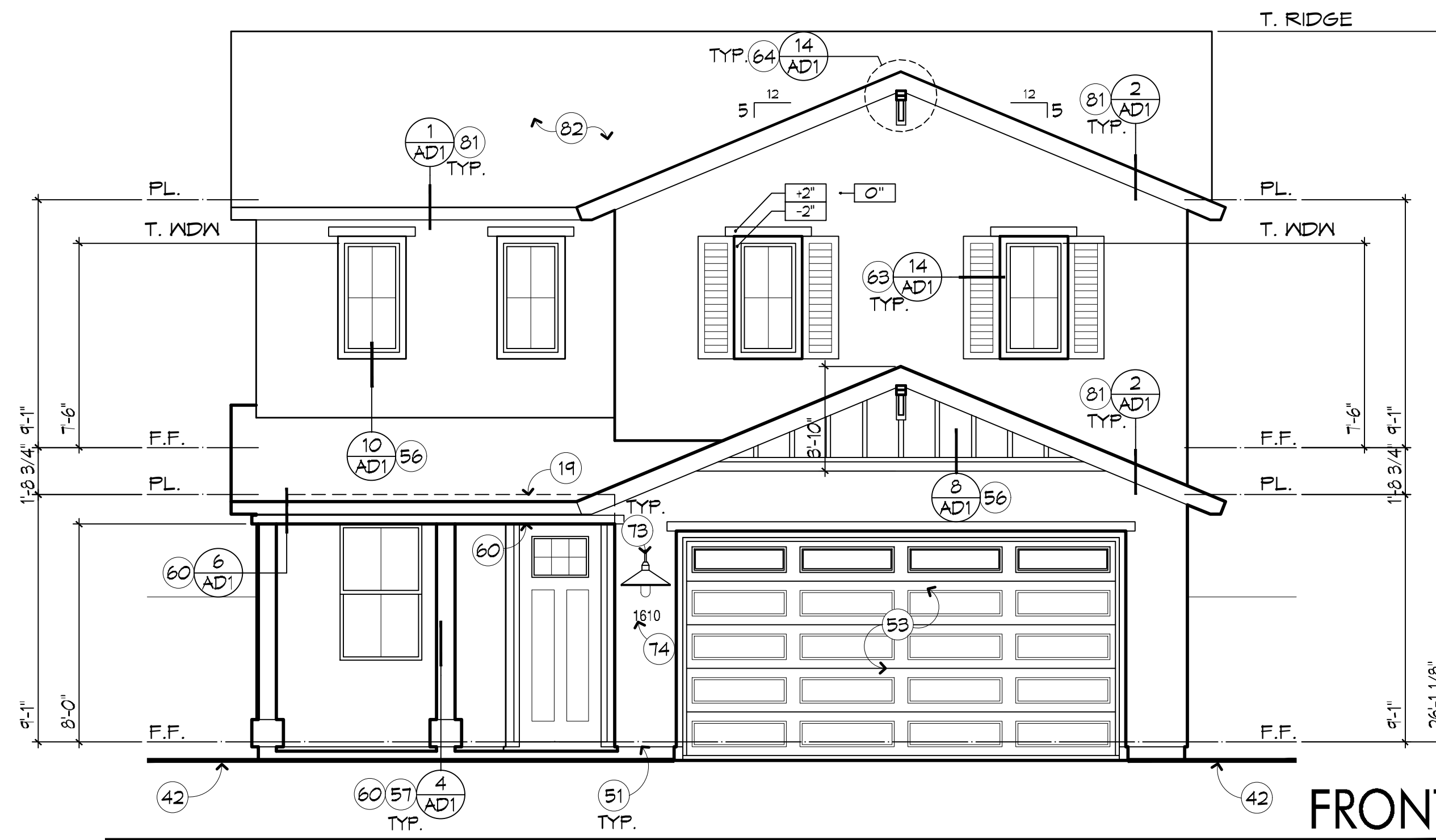
1/4" = 1'-0"

A2.1.0

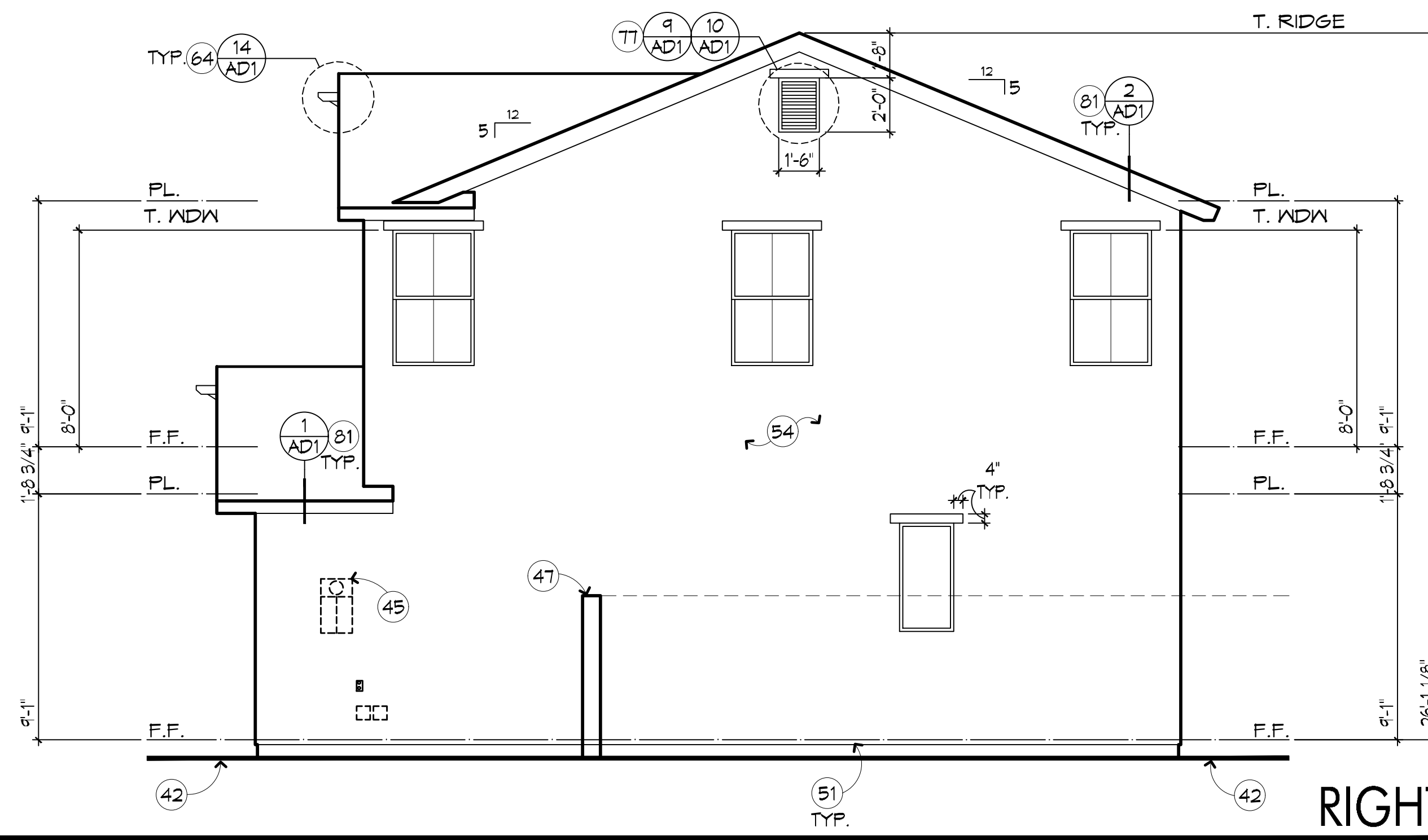
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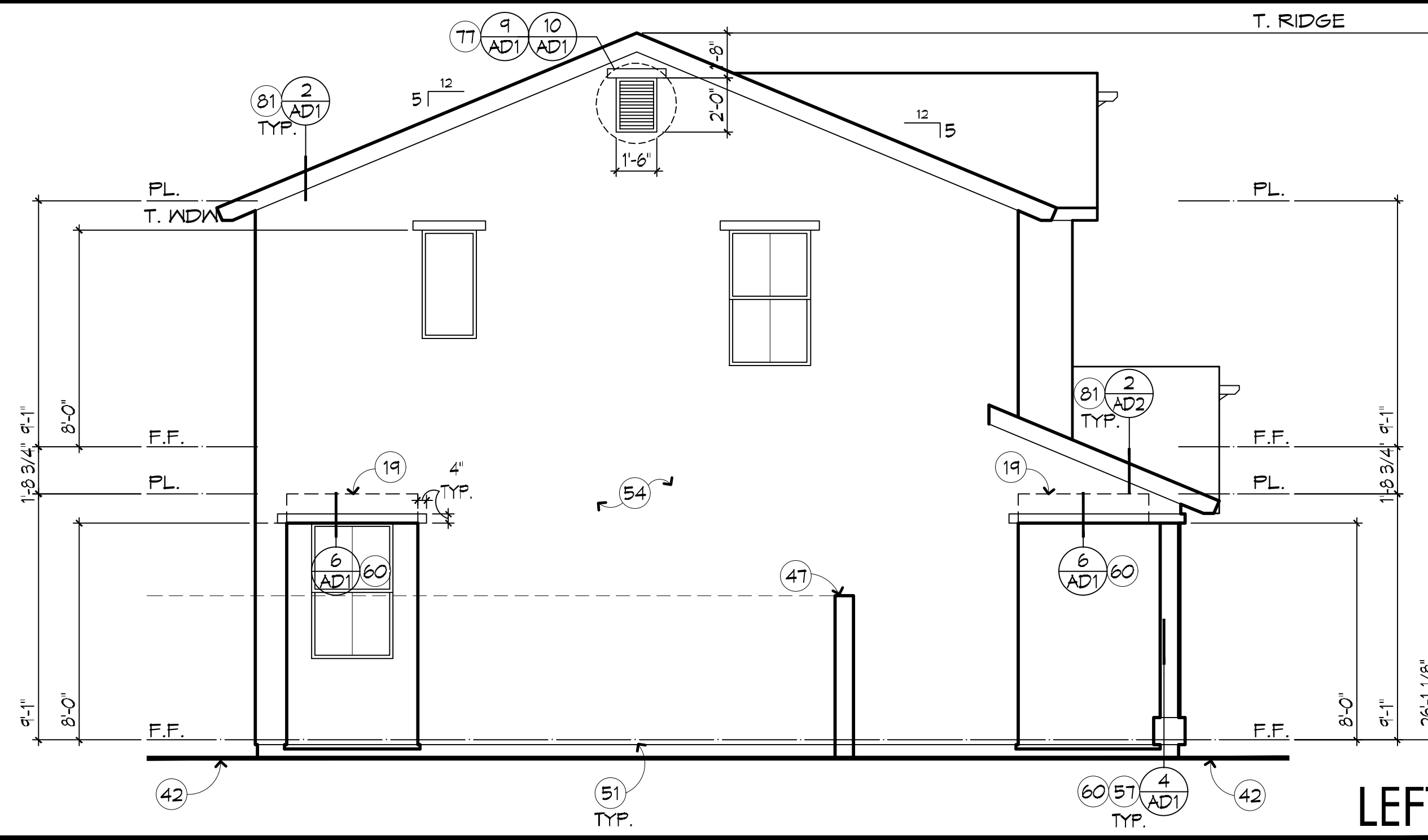
REAR



FRONT

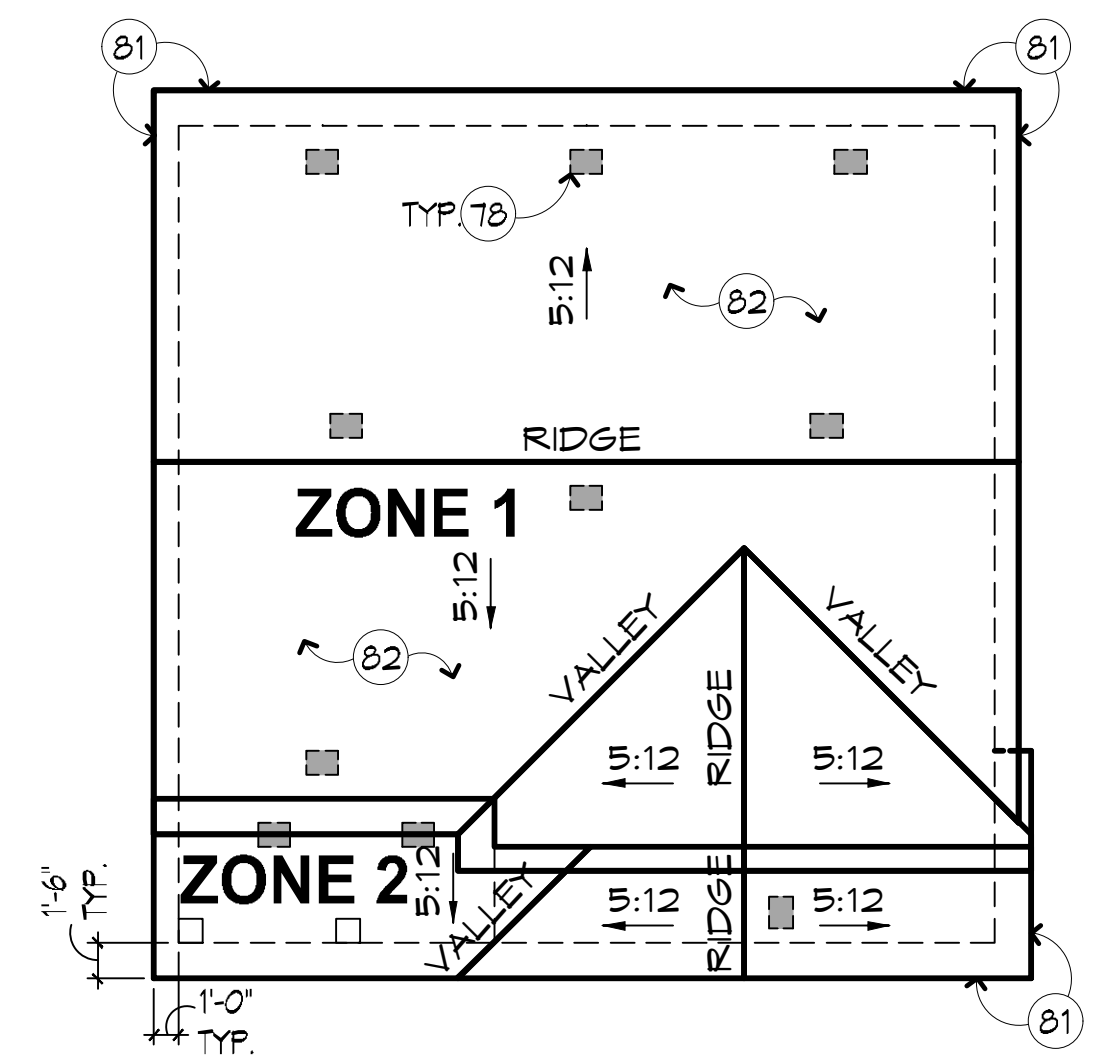


RIGHT



LEFT

ROOF VENT CALCULATIONS				
ZONE 1		ELEVATION 'B'		
VENTED AREA: 993.61 SQ. FT.		1/300 RULE		
REQUIRED: 190.78 MIN., 238.48 MAX. HIGH SQ. IN.		476.96 SQ. IN. OVERALL, 238.48 LOW SQ. IN.		
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN LOW	LOW	T2.00 ea	4	288.00
O'HASHN HIGH	HIGH	T2.00 ea	3	216.00
		216.00 HIGH SQ. IN.		
		288.00 LOW SQ. IN.		
VENTING PROVIDED:		504.00 SQ. IN.		
ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION 'B'		
VENTED AREA: 162.93 SQ. FT.		1/150 RULE		
REQUIRED: 155.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN HIGH	HIGH	T2.00 ea	3	216.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		216.00 SQ. IN.		



ROOF PLAN 1/8" = 1'-0"

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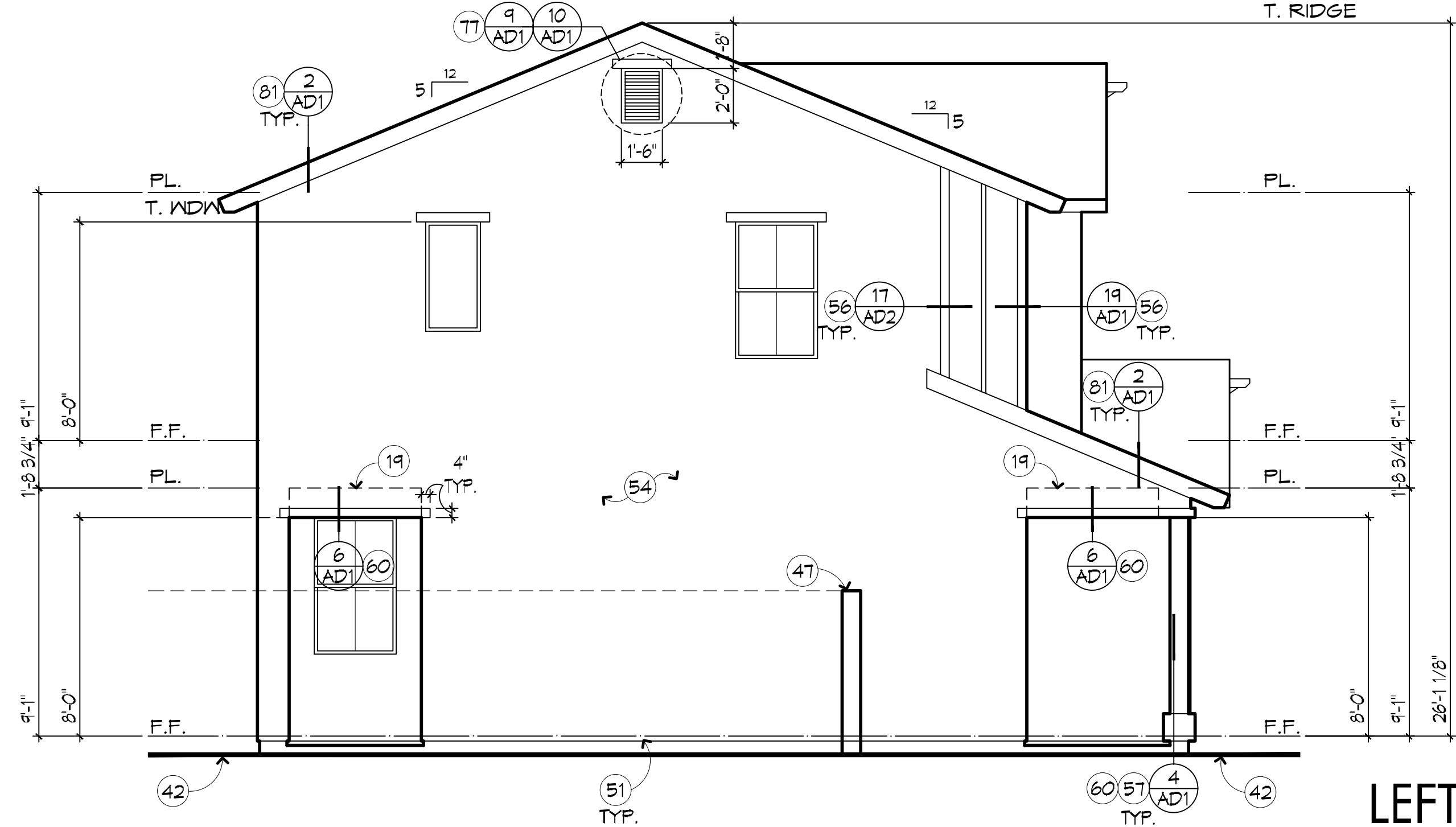
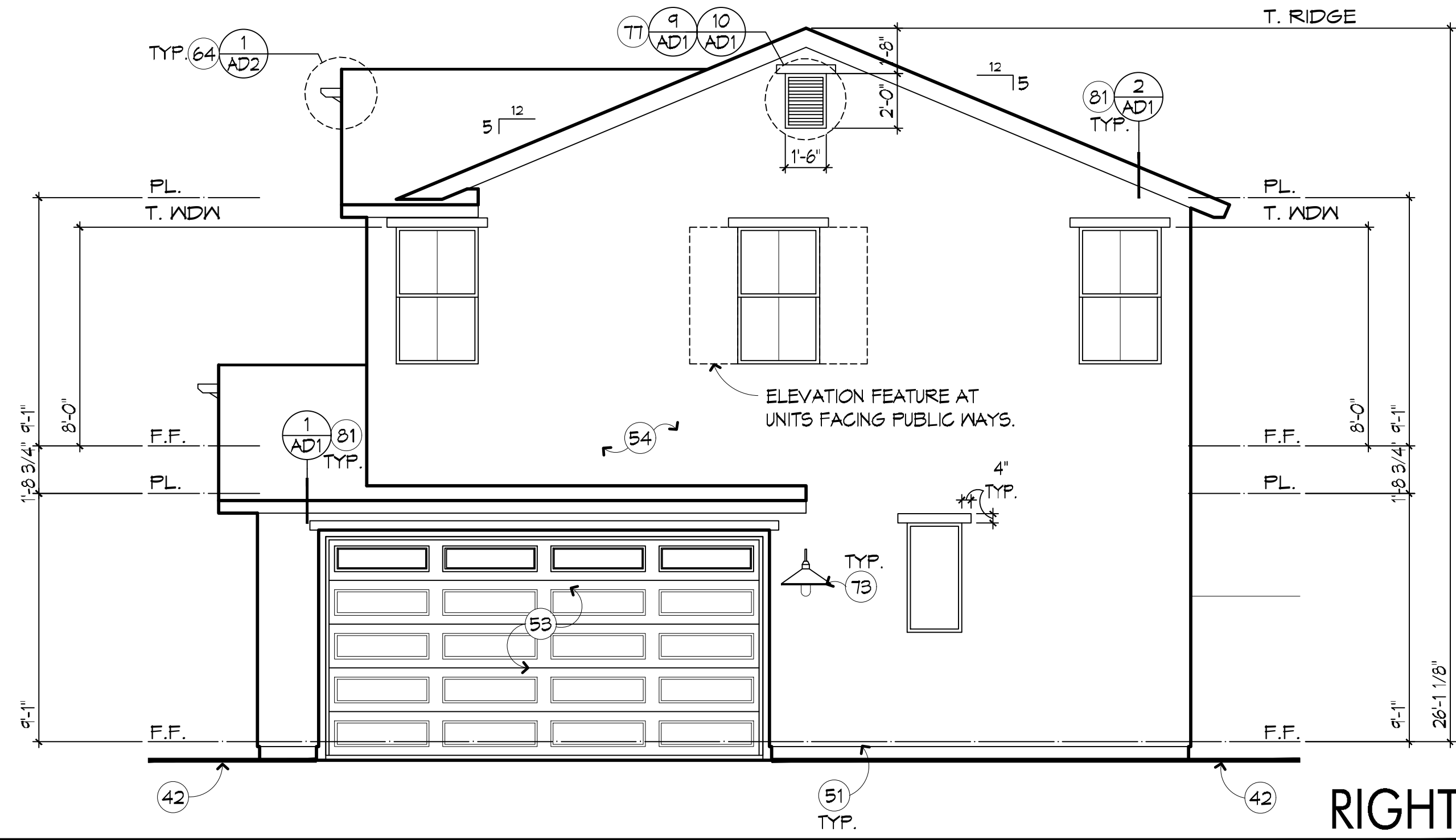
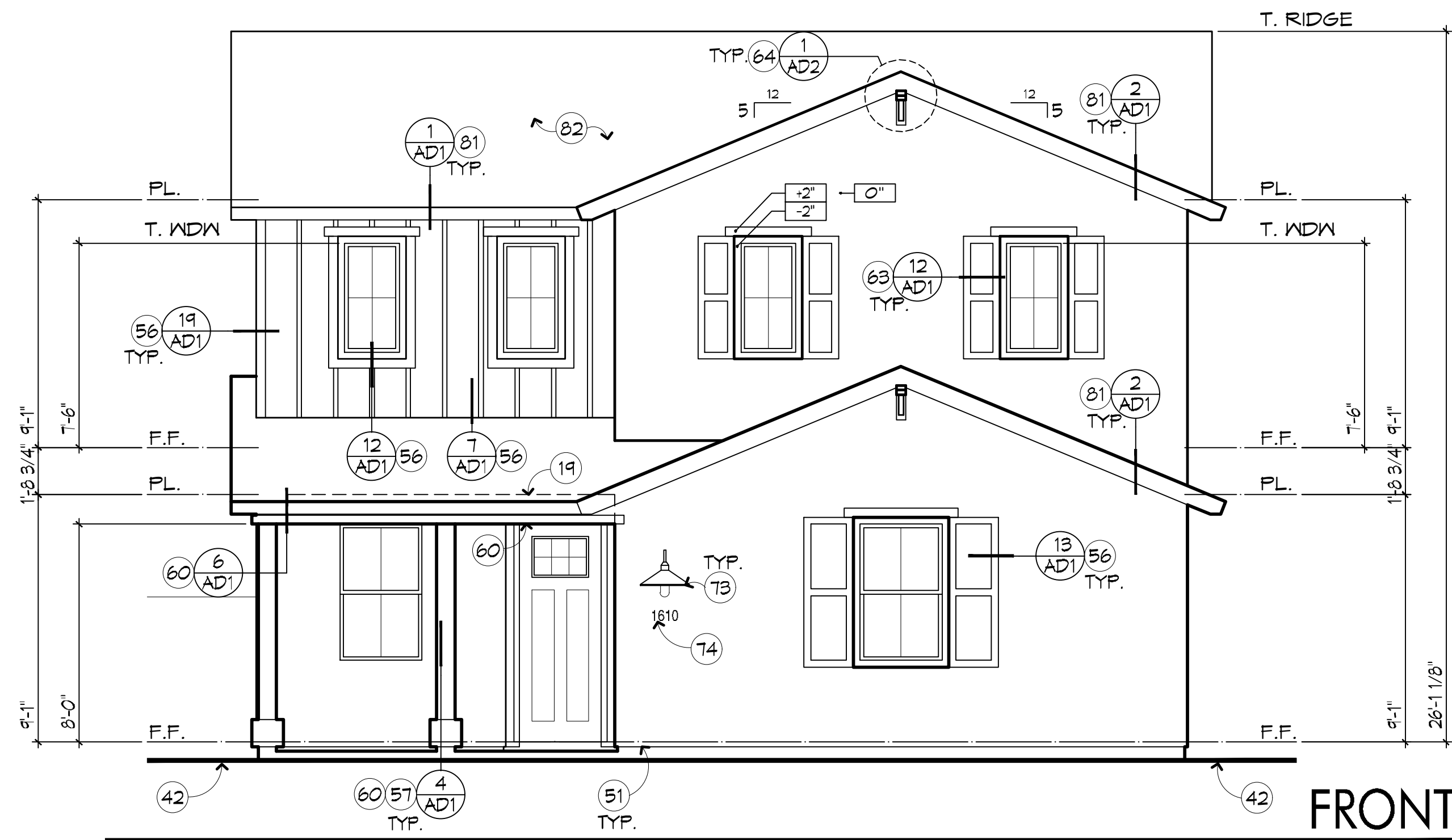
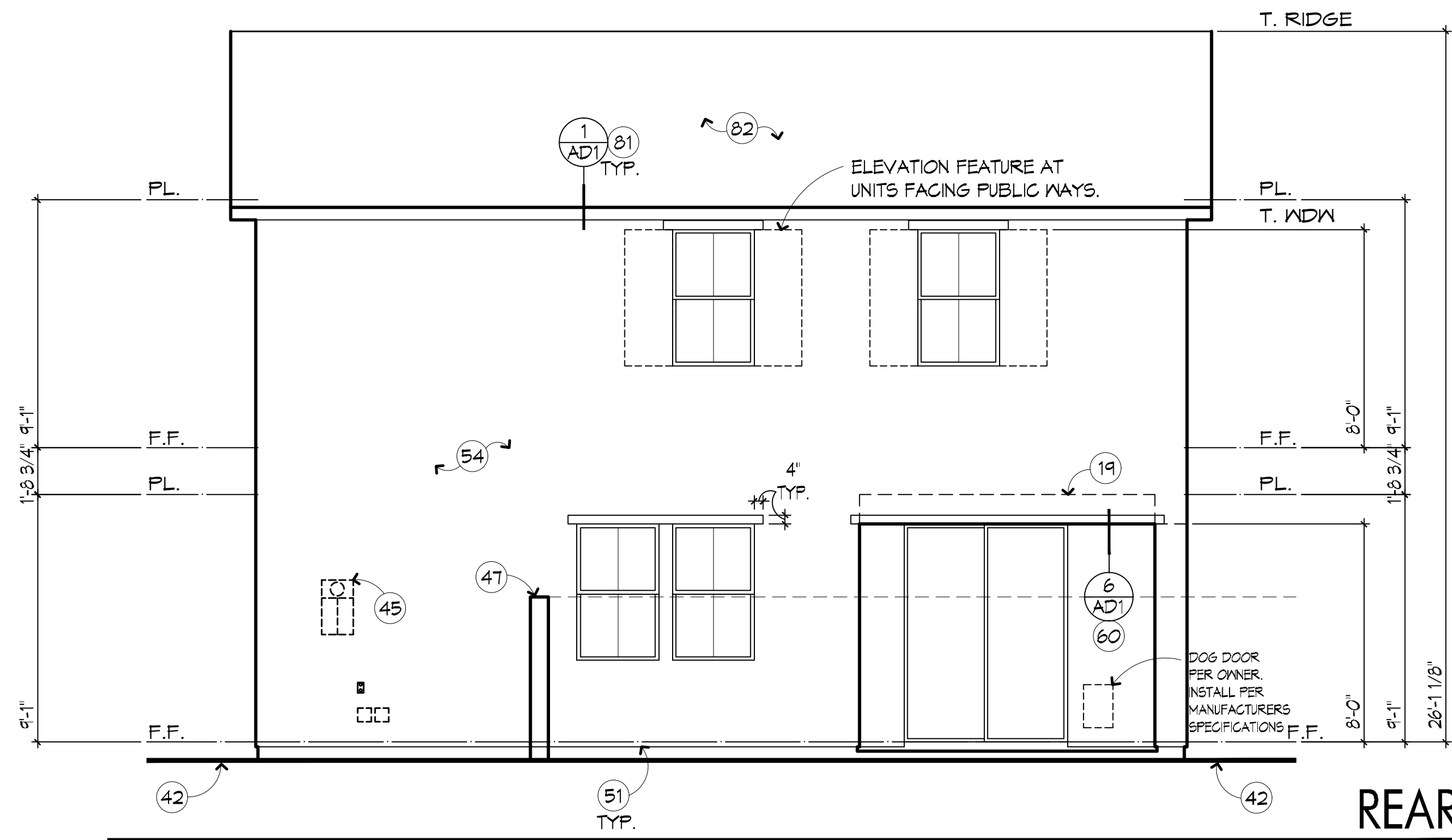
PLAN - 1482  
FIDDYMENT  
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CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN B

1/4" = 1'-0"

A2.1.1

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07/14/2020 13:58:10



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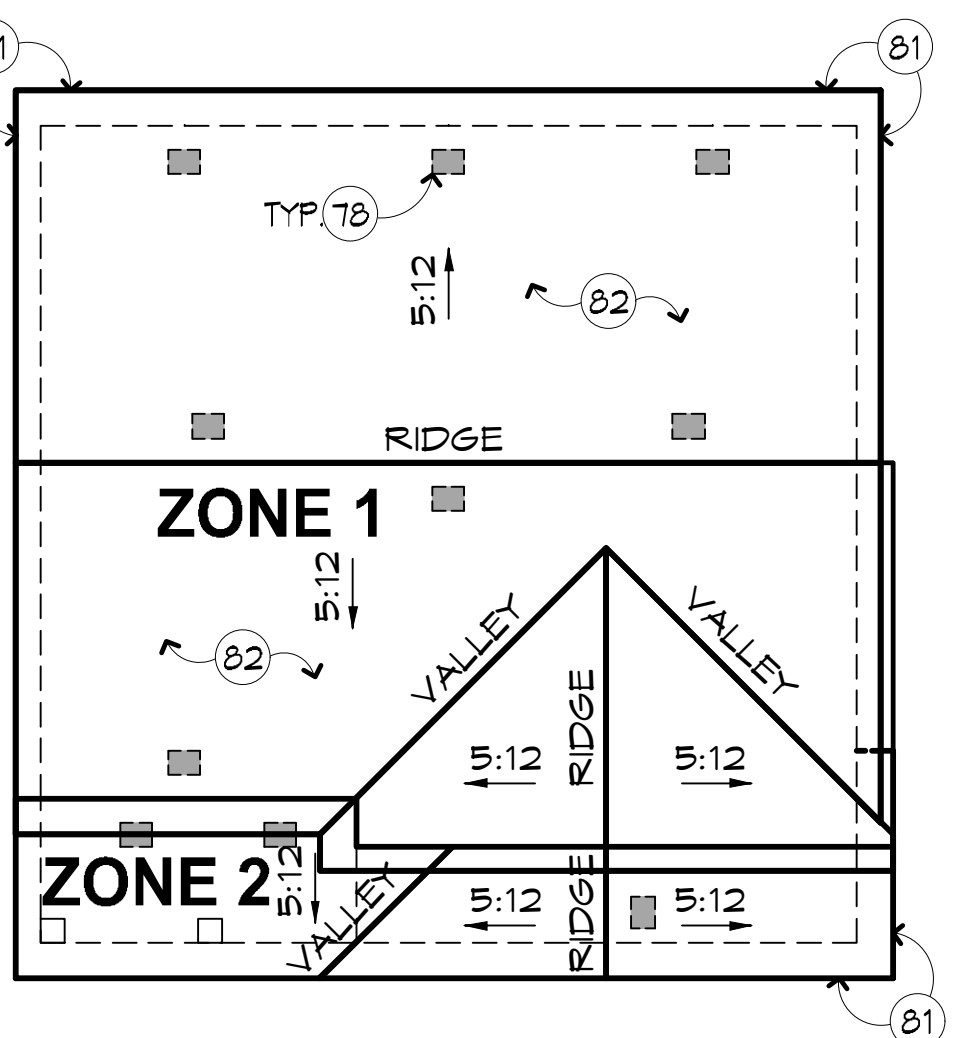
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- ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
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REQUIRED: 190.78 MIN., 238.48 MAX. HIGH SQ. IN.				
476.96 SQ. IN. OVERALL, 238.48 LOW SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN LOW	LOW	12.00 ea	4	288.00
O'HASHN HIGH	HIGH	12.00 ea	3	216.00
		216.00 HIGH SQ. IN.		
		288.00 LOW SQ. IN.		
VENTING PROVIDED:		504.00 SQ. IN.		

ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION 'C'		
VENTED AREA: 162.93 SQ. FT.		1/150 RULE		
REQUIRED: 155.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN HIGH	HIGH	12.00 ea	3	216.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		216.00 SQ. IN.		



**ROOF PLAN** 1/8" = 1'-0"



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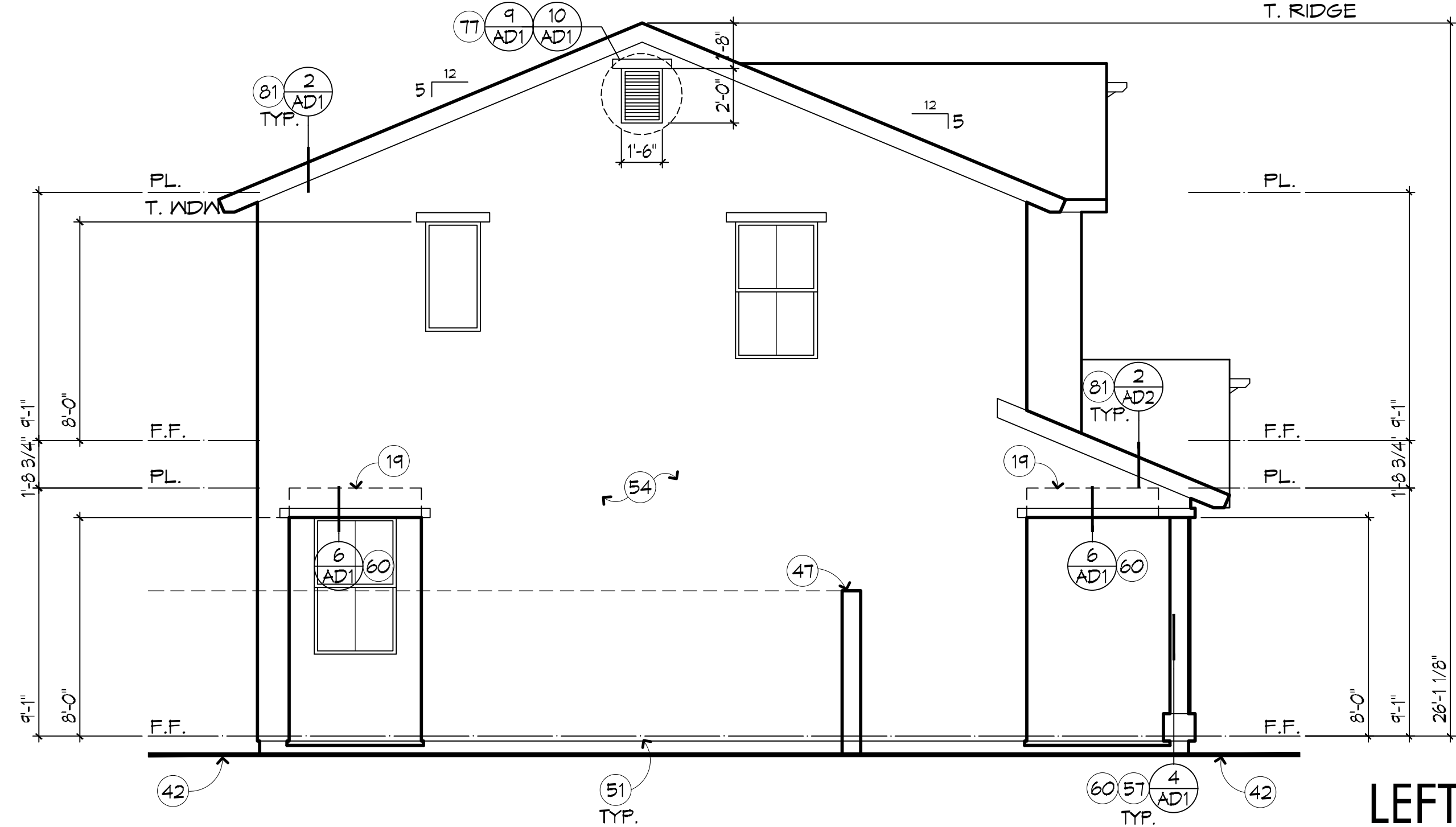
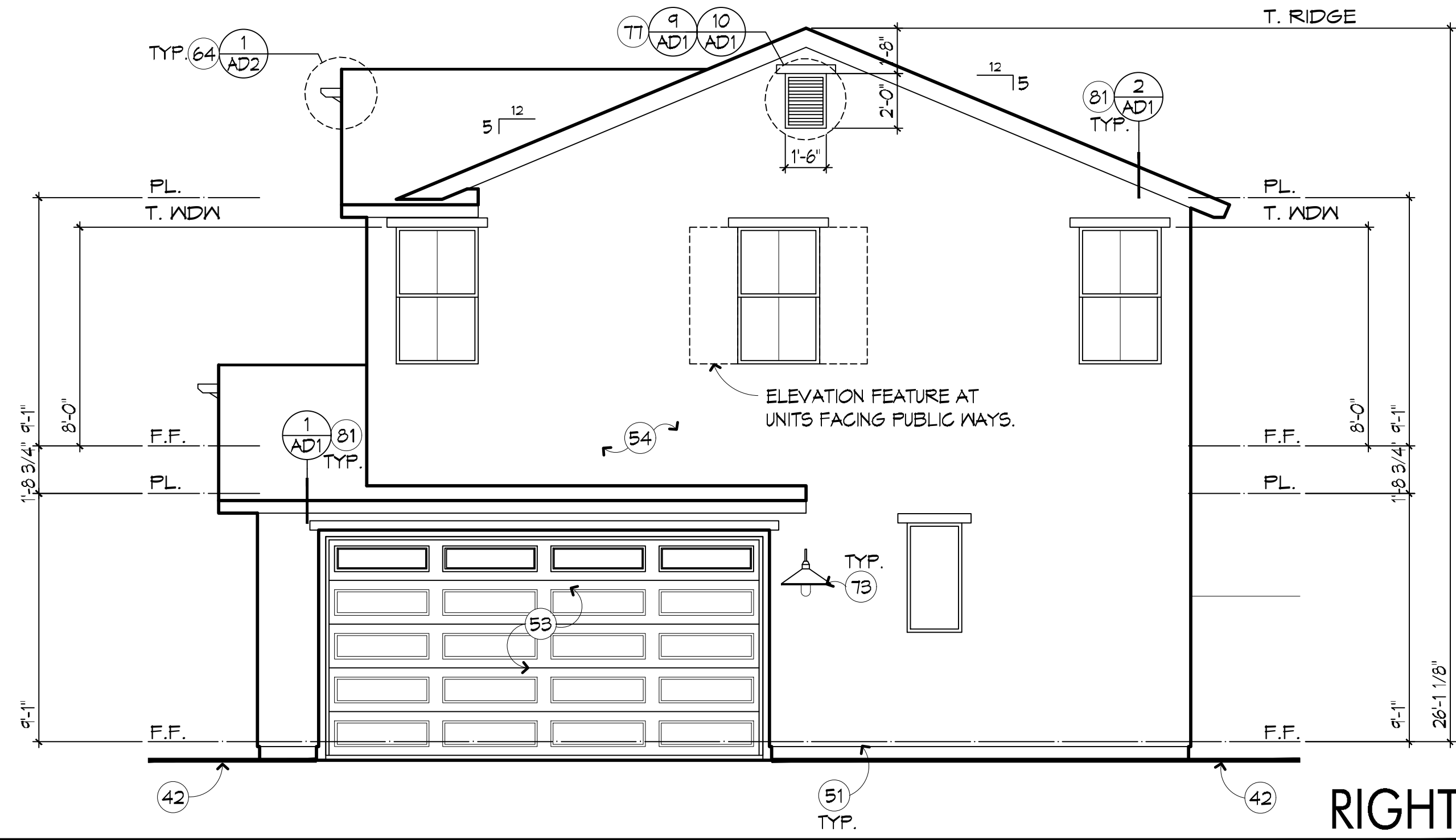
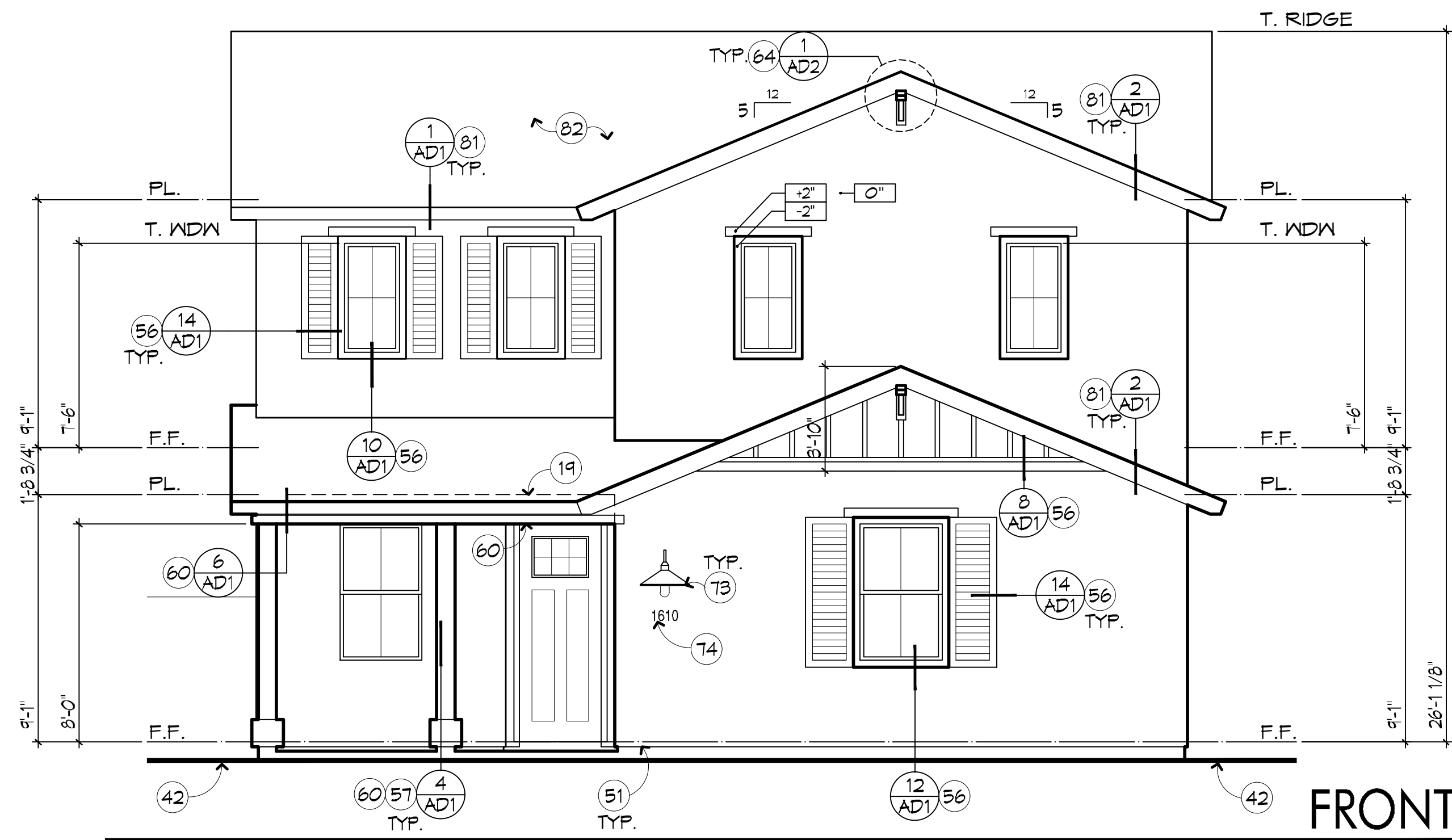
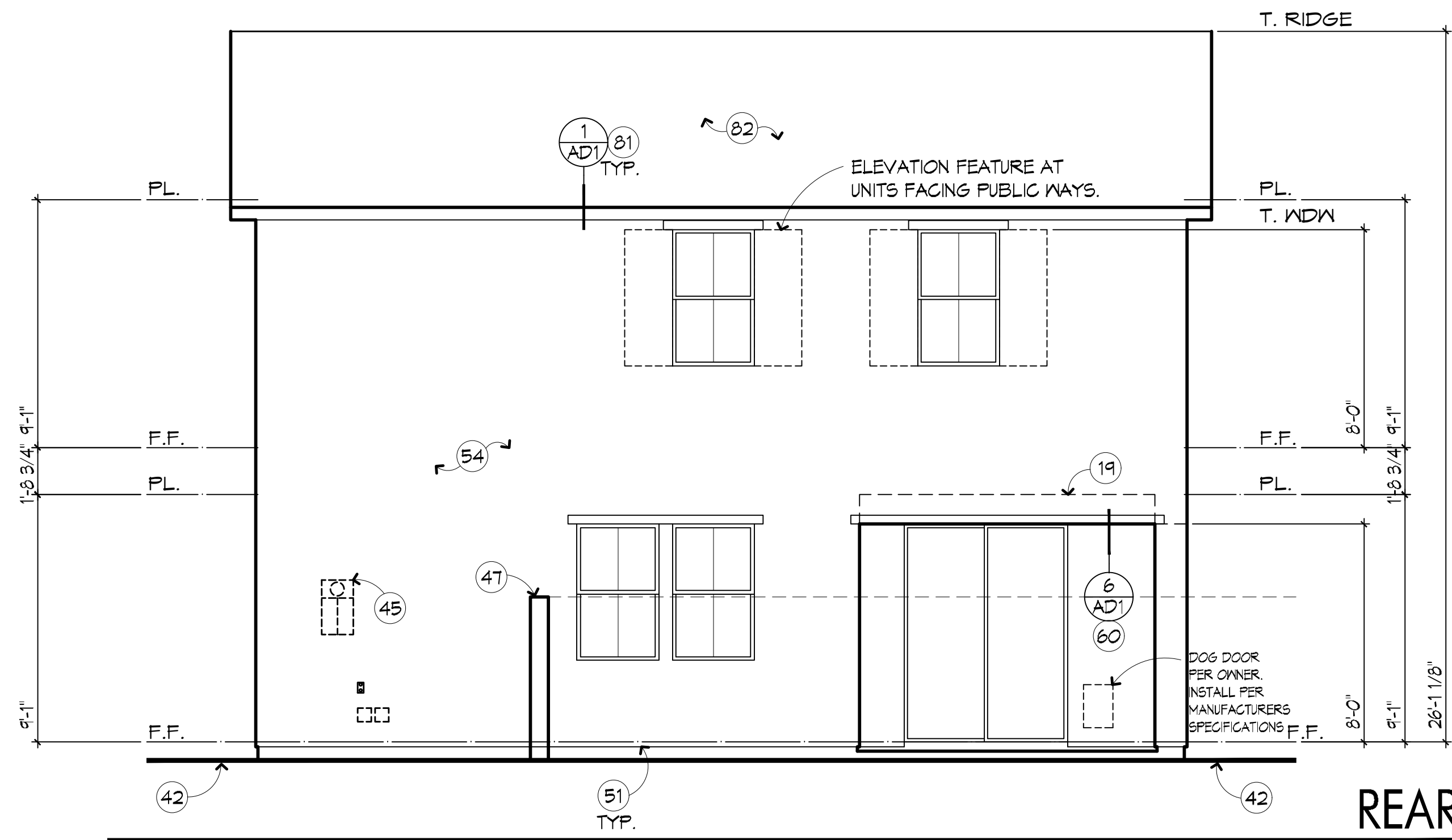
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EXTERIOR  
ELEVATIONS &  
ROOF PLAN C

1/4" = 1'-0"

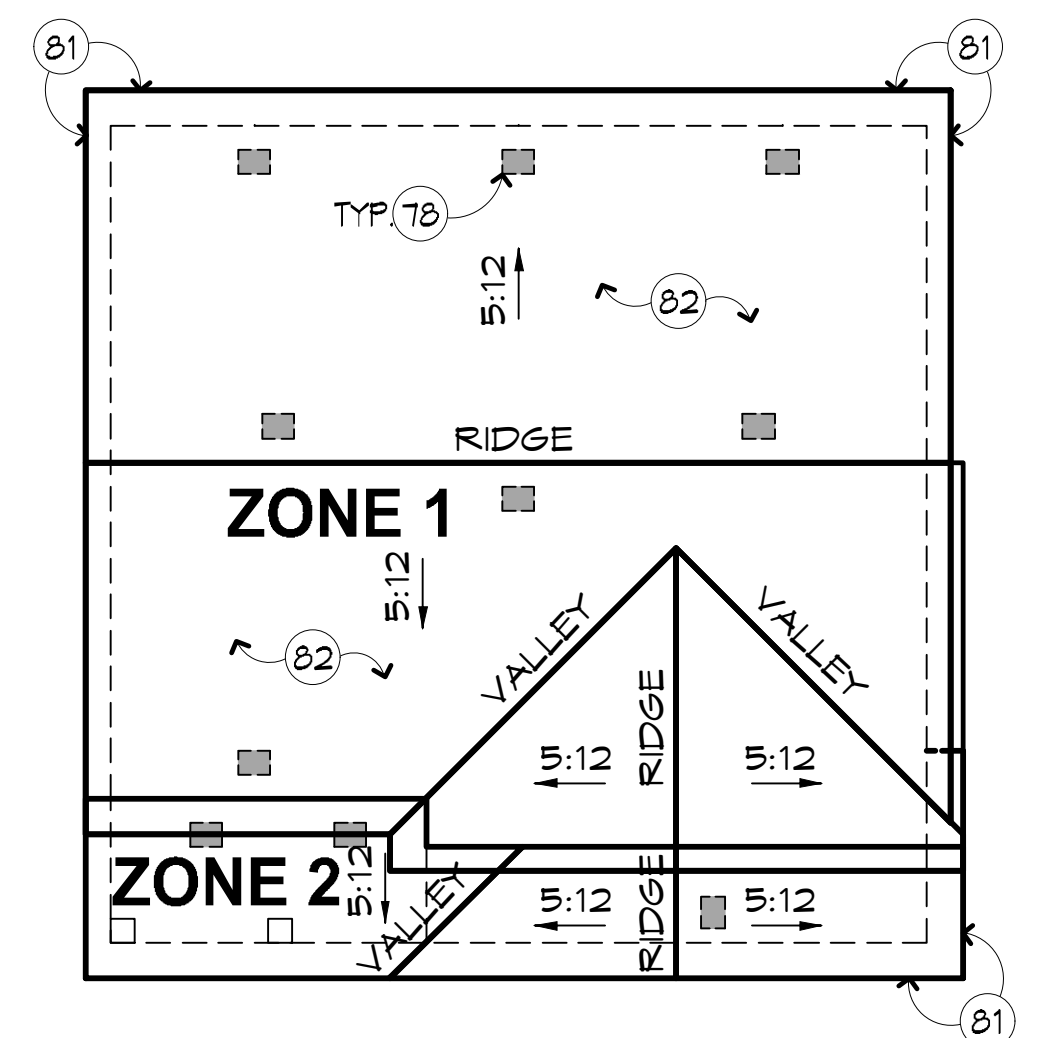
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- GENERAL NOTES**
- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
  - REFER TO 6D SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
  - ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS' BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
  - FINISH DIMENSIONS AND OFFSET REFERENCES SHOWN ARE MEASURED TO FACE OF FINISH U.N.O. REFER TO GENERAL DETAILS (6D) SHEETS FOR STANDARD DOOR / WINDOW HEADER HEIGHTS AND ADDITIONAL INFORMATION.
- KEYED NOTES**
- LINE OF CEILING BEYOND.
  - FINISH GRADE. SLOPE MIN. 5% AWAY FROM BUILDING.
  - UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.
  - SITE WALL. (FINISH TO MATCH RESIDENCE)
  - METAL WEEP SCREED.
  - OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
  - EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
  - VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
  - PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
  - E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
  - CORBELS / BRACKETS.
  - LIGHT FIXTURE.
  - STREET ADDRESS PLAQUE.
  - DECORATIVE ATTIC VENT WITH STUCCO POP-OUT.
  - ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
  - FASCIA / BARGE.
  - HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.

ROOF VENT CALCULATIONS				
ZONE 1		ELEVATION 'C'		
VENTED AREA: 993.61 SQ. FT.		1/300 RULE		
REQUIRED: 190.78 MIN., 238.48 MAX. HIGH SQ. IN.				
476.96 SQ. IN. OVERALL, 238.48 LOW SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN LOW	LOW	12.00 ea	4	288.00
O'HASHN HIGH	HIGH	12.00 ea	3	216.00
		216.00 HIGH SQ. IN.		
		288.00 LOW SQ. IN.		
VENTING PROVIDED:		504.00 SQ. IN.		
ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION 'C'		
VENTED AREA: 162.93 SQ. FT.		1/150 RULE		
REQUIRED: 155.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN HIGH	HIGH	12.00 ea	3	216.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		216.00 SQ. IN.		



**ROOF PLAN** 1/8" = 1'-0"



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Scottsdale, Arizona 85250  
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JOB NUMBER: 20-003C  
Project Mgr: marc  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

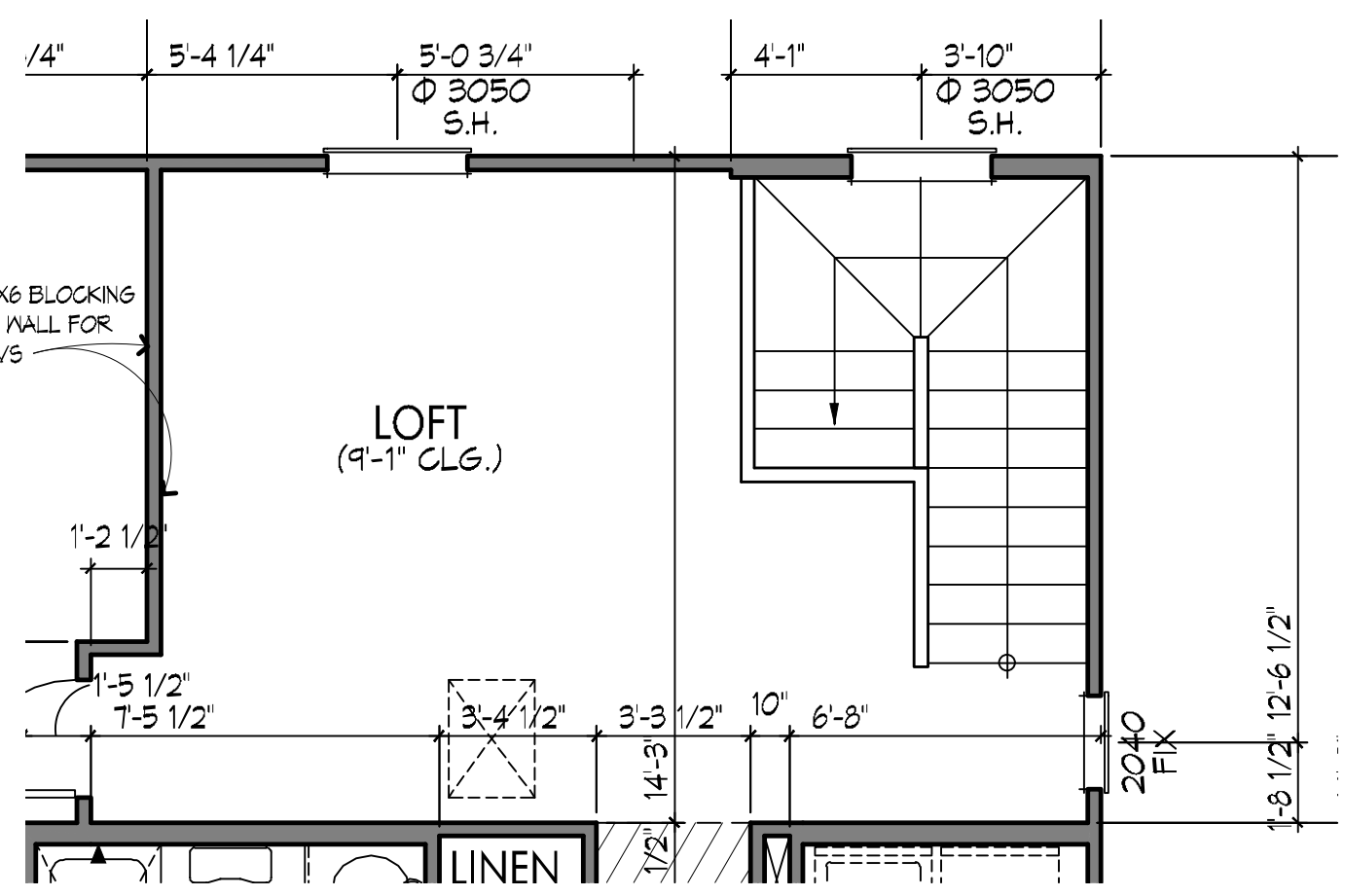
**PLAN - 1482**  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN D

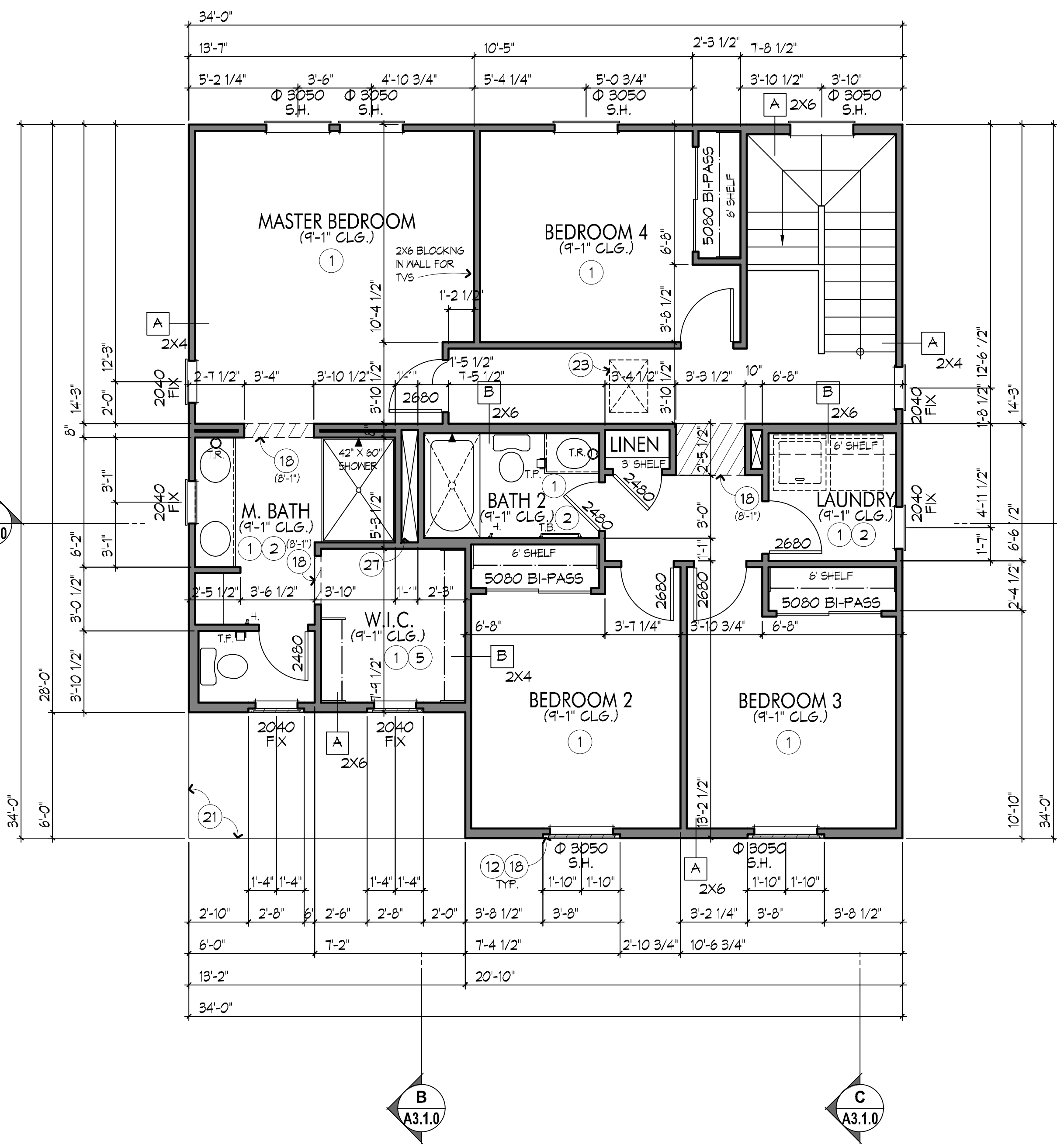
1/4" = 1'-0"

**A2.1.3**

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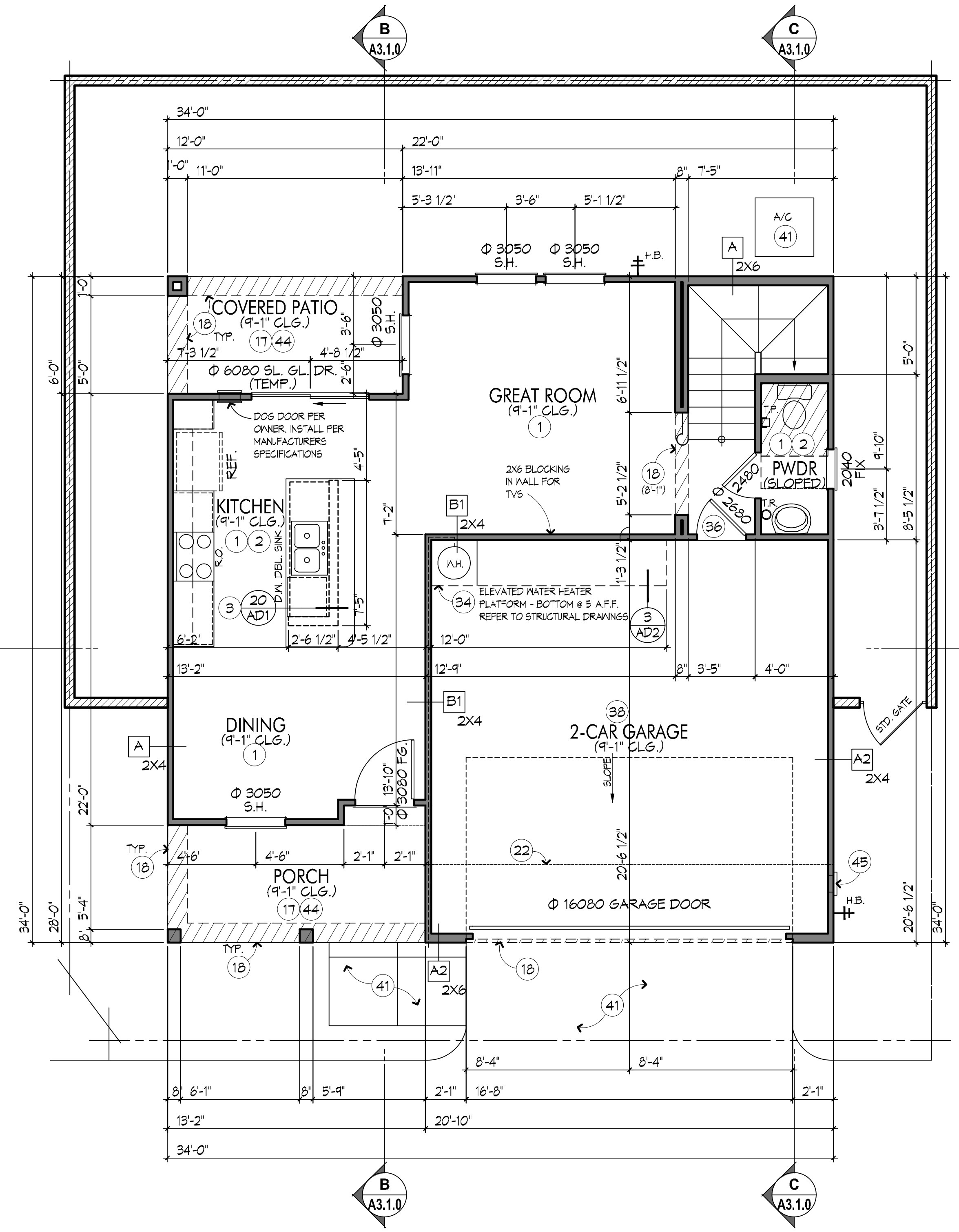


OPT. LOFT ILO BEDROOM 4



UPPER FLOOR PLAN

ELEVATION A & B



LOWER FLOOR PLAN

ELEVATION A & B

GENERAL NOTES

- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
- REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
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- DIMENSIONS OF FLOOR PLAN(S) AND INTERIOR ELEVATIONS ARE SHOWN TO FACE OF STUD TYPICALLY UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS OF ALL DOOR AND WINDOW UNITS PRIOR TO START OF CONSTRUCTION.
- PROVIDE INSULATION AT ALL WALL AND CEILING LOCATIONS SEPARATING CONDITIONED FROM NON-CONDITIONED SPACES. REFER TO WALL SCHEDULE AND ARCHITECTURAL NOTES FOR MINIMUM WALL AND CEILING INSULATION REQUIREMENTS.

KEYED NOTES

- COORDINATE FINISH FLOOR MATERIAL AND LIMIT OF FINISH W/ OWNER.
- COORDINATE CABINETRY, SHELVING/ HARDWARE WITH BUILDER. SEE SPECIFICATIONS AND DETAILS/ INTERIOR ELEVATIONS ON SHEET A4.1.0
- ISLAND / PENINSULA CONTRACTOR TO COORDINATE 2X PONY WALL HEIGHT AND MATERIAL WITH BUILDER. PROVIDE ELECTRICAL CONDUIT IN FLOOR SLAB AS REQUIRED. COORDINATE WITH ALL TRADES.
- COORDINATE CLOSET ROD AND/OR SHELF(S) WITH BUILDER. CEILING HEIGHT TO MATCH ADJACENT ROOM UNLESS NOTED.
- EXTERIOR ARCHITECTURAL FEATURE. REFER TO ELEVATIONS AND/ OR FLOOR PLANS FOR ADDL. INFO. PROVIDE (2) LAYERS BUILDING PAPER AND A BITUMINOUS MEMBRANE AT ALL FLAT SURFACES. PROVIDE SLOPE FOR DRAINAGE.
- EXTERIOR GYPSUM SOFFIT BOARD AT CEILING. REFER TO ARCHITECTURAL NOTES FOR ADDL. INFO.
- LINE OF SOFFIT/ CEILING TRANSITION. REFER TO INTERIOR ELEVATIONS and/or EXTERIOR ELEVATIONS FOR ADDL. INFO.
- LINE OF FIRST FLOOR BELOW.
- LINE OF STRUCTURE ABOVE.
- ATTIC SCUTTLE. REFER TO ARCHITECTURAL NOTES.
- A/C CHASE.
- WATER HEATER ON +18" HIGH PLATFORM WITH T. & P.R.V. FULL-SIZE DRAIN LINE TO EXTERIOR, MIN. 6" ABOVE GRADE. REFER TO ARCHITECTURAL NOTES.
- PROVIDE 1 3/4" SOLID CORE WOOD DOOR AND FRAME. SELF-CLOSING. SELF-LATCHING WITH SMOKE CONTROL SWEEPS AND SEALS AT THIS LOCATION.
- (1) LAYER 1/2" GYPSUM BOARD AT GARAGE CEILING. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD SHALL BE REQUIRED AT ENTIRE GARAGE CEILING WHEN FLOOR FRAMING IS ABOVE.
- EXTERIOR FLATWORK. REFER TO ARCHITECTURAL NOTES.
- CONC. SLAB. SLOPE 1/8" PER FOOT AWAY FROM BUILDING. REFER TO STRUCTURAL DRAWINGS.
- UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.

WALL SCHEDULE

- PROVIDE WATER RESISTIVE GYPSUM BOARD @ ALL WET AREAS (IRC 102.3). NOT PERMITTED AT SHOWERS AND OTHER AREAS OF HIGH HUMIDITY.
- NOTE. REFER TO STRUCTURAL PLANS FOR LOCATIONS OF SHEAR WALL AND BEARING WALL CONDITIONS. COORDINATE WITH THIS PLAN.
- EXTERIOR FINISH/ E.I.F.S. PER SPECIFICATIONS. EXTERIOR FACE. REFER TO ELEVATIONS FOR ADDL. FINISH APPLICATIONS.
- 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DNGS.
- INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY.
- 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
- SAME AS 'A', EXCEPT:
- NO INSULATION @ WALL
- 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DNGS.
- 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
- SAME AS 'B', EXCEPT:
- INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY.



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JOB NUMBER: 20-003C  
Project Mgr: marcim  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

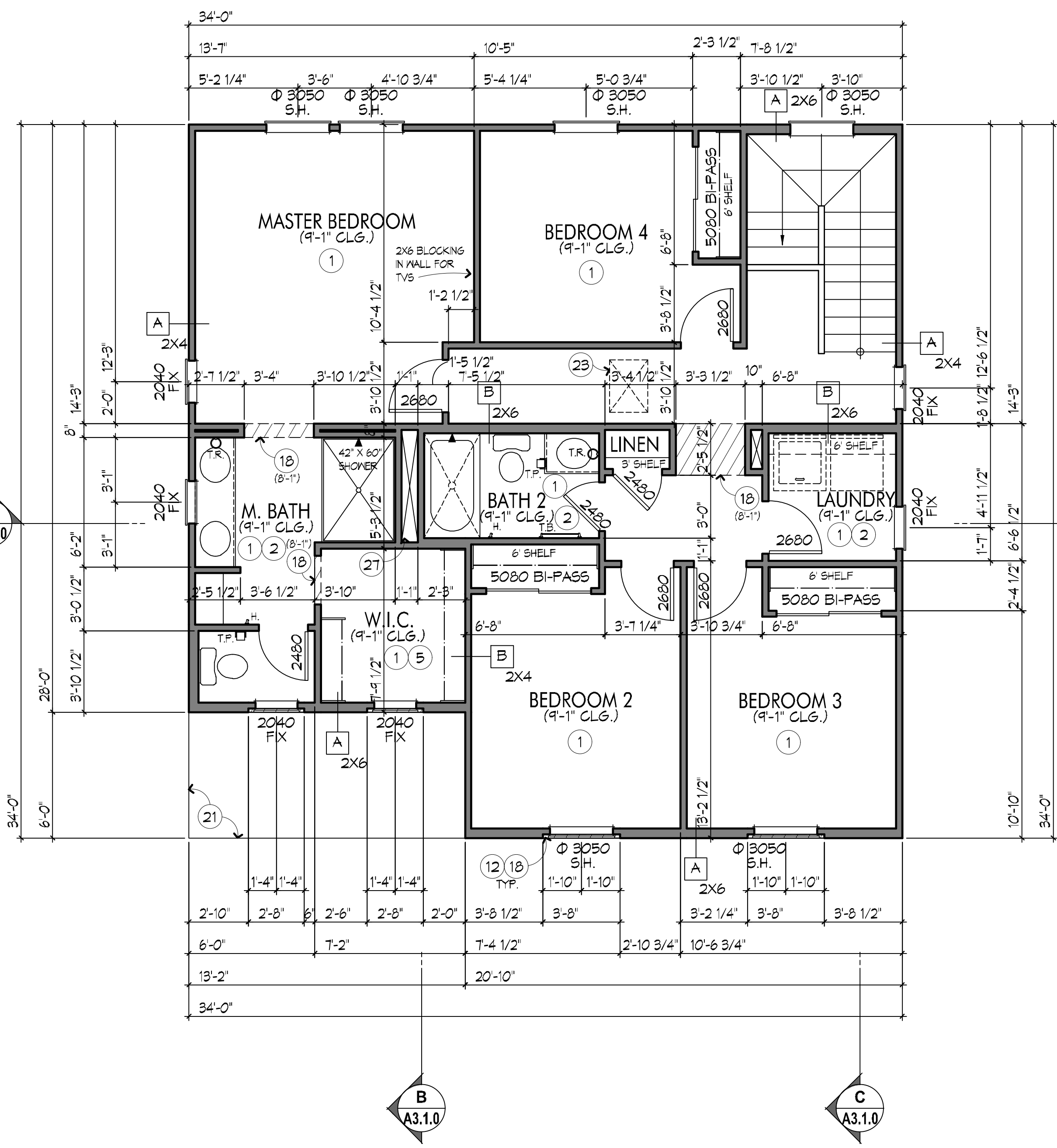
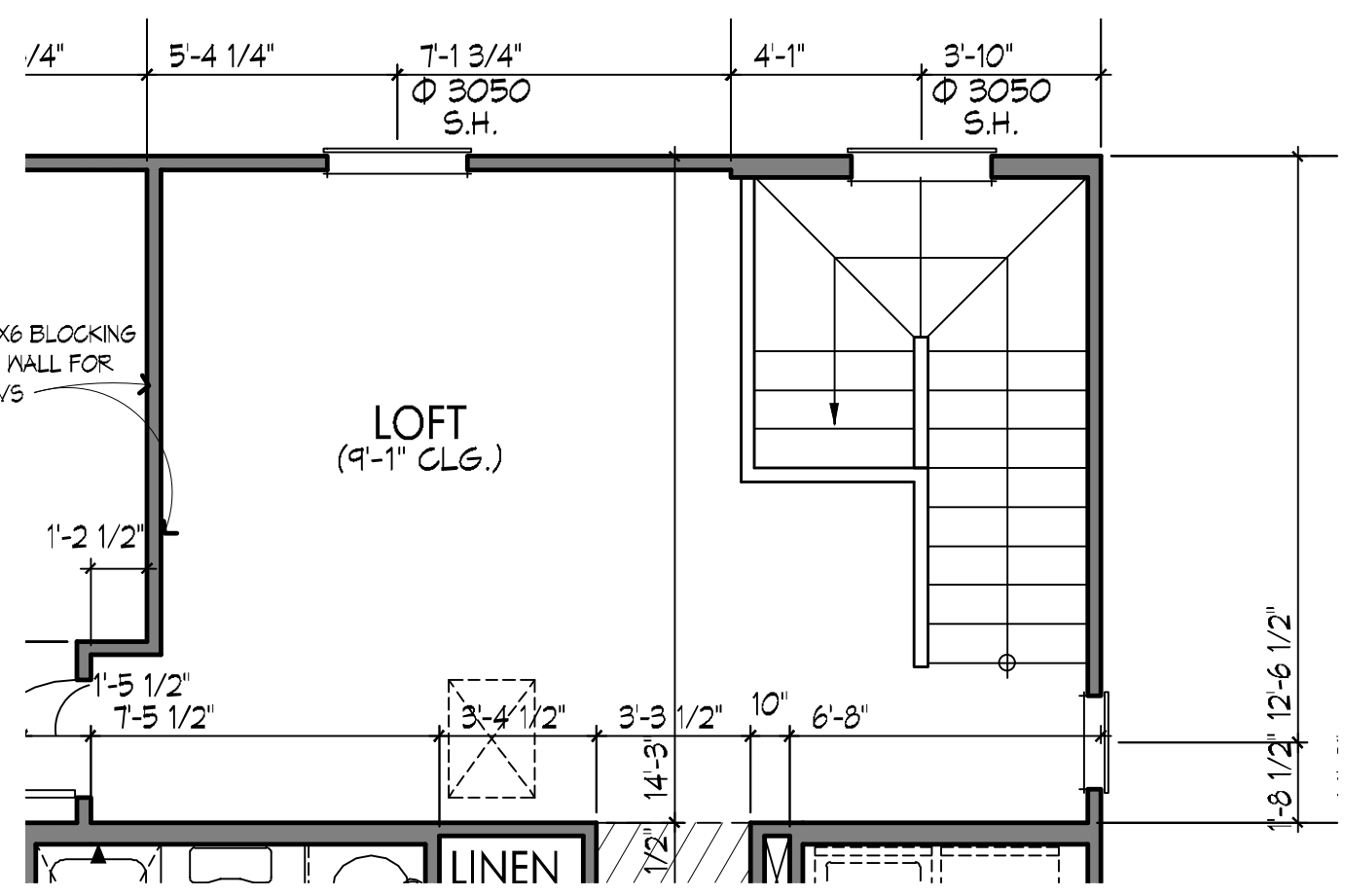
PLAN - 1589  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

FLOOR PLAN  
ELEVATION A & B

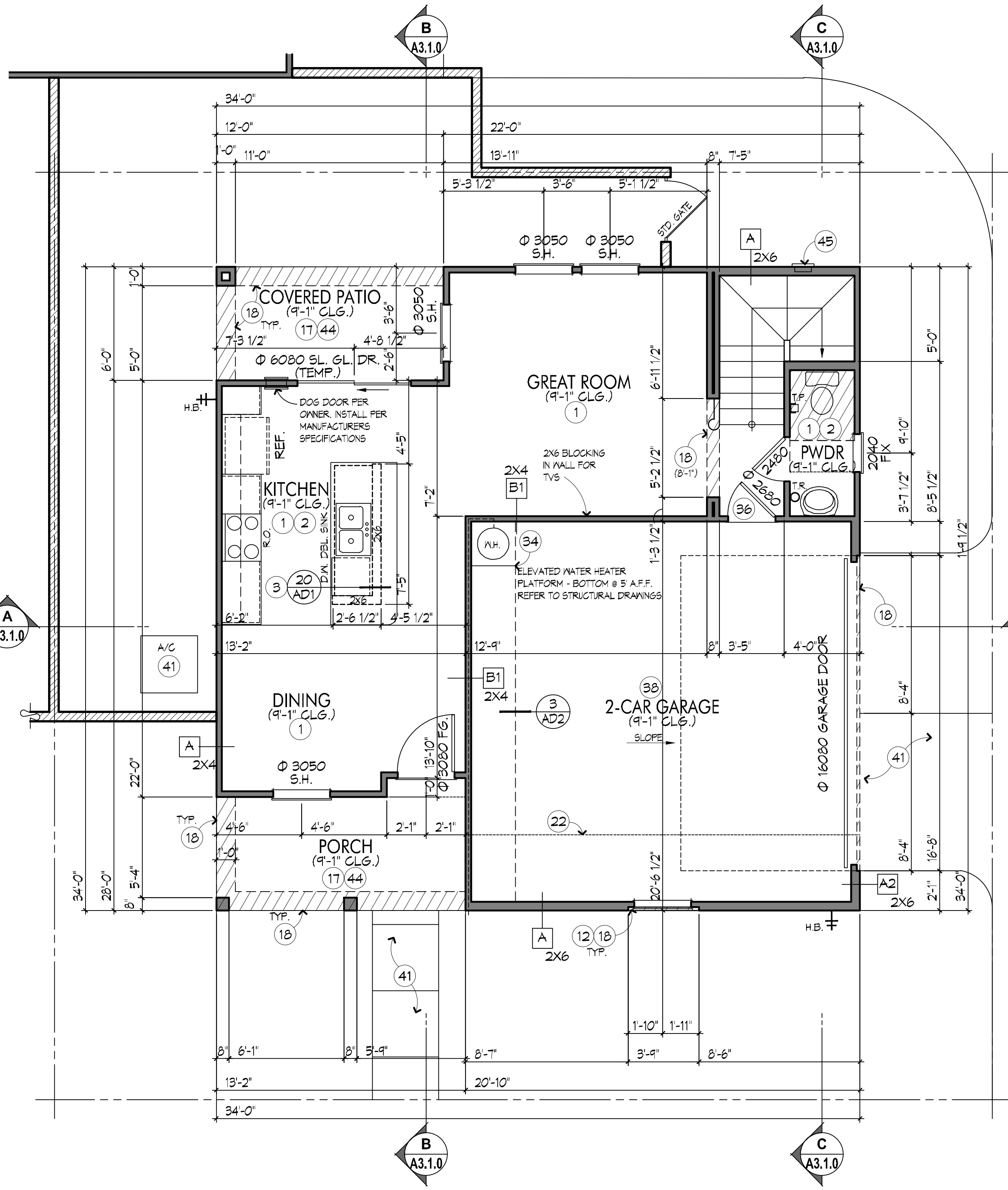
1/4" = 1'-0"

A1.1.0

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07/14/2020 14:00:24



UPPER FLOOR PLAN  
ELEVATION C & D



LOWER FLOOR PLAN  
ELEVATION C & D

GENERAL NOTES

- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
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- DIMENSIONS OF FLOOR PLAN(S) AND INTERIOR ELEVATIONS ARE SHOWN TO FACE OF STUD TYPICALLY UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ROUGH OPENING REQUIREMENTS OF ALL DOOR AND WINDOW UNITS PRIOR TO START OF CONSTRUCTION.
- PROVIDE INSULATION AT ALL WALL AND CEILING LOCATIONS SEPARATING CONDITIONED FROM NON-CONDITIONED SPACES. REFER TO WALL SCHEDULE AND ARCHITECTURAL NOTES FOR MINIMUM WALL AND CEILING INSULATION REQUIREMENTS.

KEYED NOTES

- COORDINATE FINISH FLOOR MATERIAL AND LIMIT OF FINISH W/ OWNER.
- COORDINATE CABINETRY, SHELVING/ HARDWARE WITH BUILDER. SEE SPECIFICATIONS AND DETAILS/ INTERIOR ELEVATIONS ON SHEET A4.1.0.
- ISLAND / PENINSULA CONTRACTOR TO COORDINATE 2X PONY WALL HEIGHT AND MATERIAL WITH BUILDER. PROVIDE ELECTRICAL CONDUIT IN FLOOR SLAB AS REQUIRED. COORDINATE WITH ALL TRADES.
- COORDINATE CLOSET ROD AND/OR SHELF(S) WITH BUILDER. CEILING HEIGHT TO MATCH ADJACENT ROOM UNLESS NOTED.
- EXTERIOR ARCHITECTURAL FEATURE. REFER TO ELEVATIONS AND/ OR FLOOR PLANS FOR ADDL. INFO. PROVIDE (2) LAYERS BUILDING PAPER AND A BITUMINOUS MEMBRANE AT ALL FLAT SURFACES. PROVIDE SLOPE FOR DRAINAGE.
- EXTERIOR GYPSUM SOFFIT BOARD AT CEILING. REFER TO ARCHITECTURAL NOTES FOR ADDL. INFO.
- LINE OF SOFFIT/ CEILING TRANSITION. REFER TO INTERIOR ELEVATIONS and/ OR EXTERIOR ELEVATIONS FOR ADDL. INFO.
- LINE OF FIRST FLOOR BELOW.
- LINE OF STRUCTURE ABOVE.
- ATTIC SCUTTLE. REFER TO ARCHITECTURAL NOTES.
- A/C CHASE.
- WATER HEATER ON +18" HIGH PLATFORM WITH T. & P.R.V. FULL-SIZE DRAIN LINE TO EXTERIOR, MIN. 6" ABOVE GRADE. REFER TO ARCHITECTURAL NOTES.
- PROVIDE 1 3/4" SOLID CORE WOOD DOOR AND FRAME. SELF-CLOSING. SELF-LATCHING WITH SMOKE CONTROL SWEEPS AND SEALS AT THIS LOCATION.
- (1) LAYER 1/2" GYPSUM BOARD AT GARAGE CEILING. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD SHALL BE REQUIRED AT ENTIRE GARAGE CEILING WHEN FLOOR FRAMING IS ABOVE.
- EXTERIOR FLATWORK. REFER TO ARCHITECTURAL NOTES.
- CONC. SLAB. SLOPE 1/8" PER FOOT AWAY FROM BUILDING. REFER TO STRUCTURAL DRAWINGS.
- UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.

WALL SCHEDULE

- PROVIDE WATER RESISTIVE GYPSUM BOARD @ ALL WET AREAS (IRC 102.3). NOT PERMITTED AT SHOWERS AND OTHER AREAS OF HIGH HUMIDITY.
- EXTERIOR FINISH/ E.I.F.S. PER SPECIFICATIONS. EXTERIOR FACE REFER TO ELEVATIONS FOR ADDL. FINISH APPLICATIONS.
- 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DNGS.
- INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY.
- 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
- SAME AS 'A', EXCEPT:
- NO INSULATION @ WALL
- 2X WOOD STUDS AS INDICATED, SPACING PER STRUCT. DNGS.
- 1/2" GYP. BD. TYP. INTERIOR SUBSTRATE\*
- SAME AS 'B', EXCEPT:
- INSULATION @ ALL STUD SPACES PER AN SHEETS - CHAPTER 11 ENERGY EFFICIENCY.



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Project Mgr: marcim  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

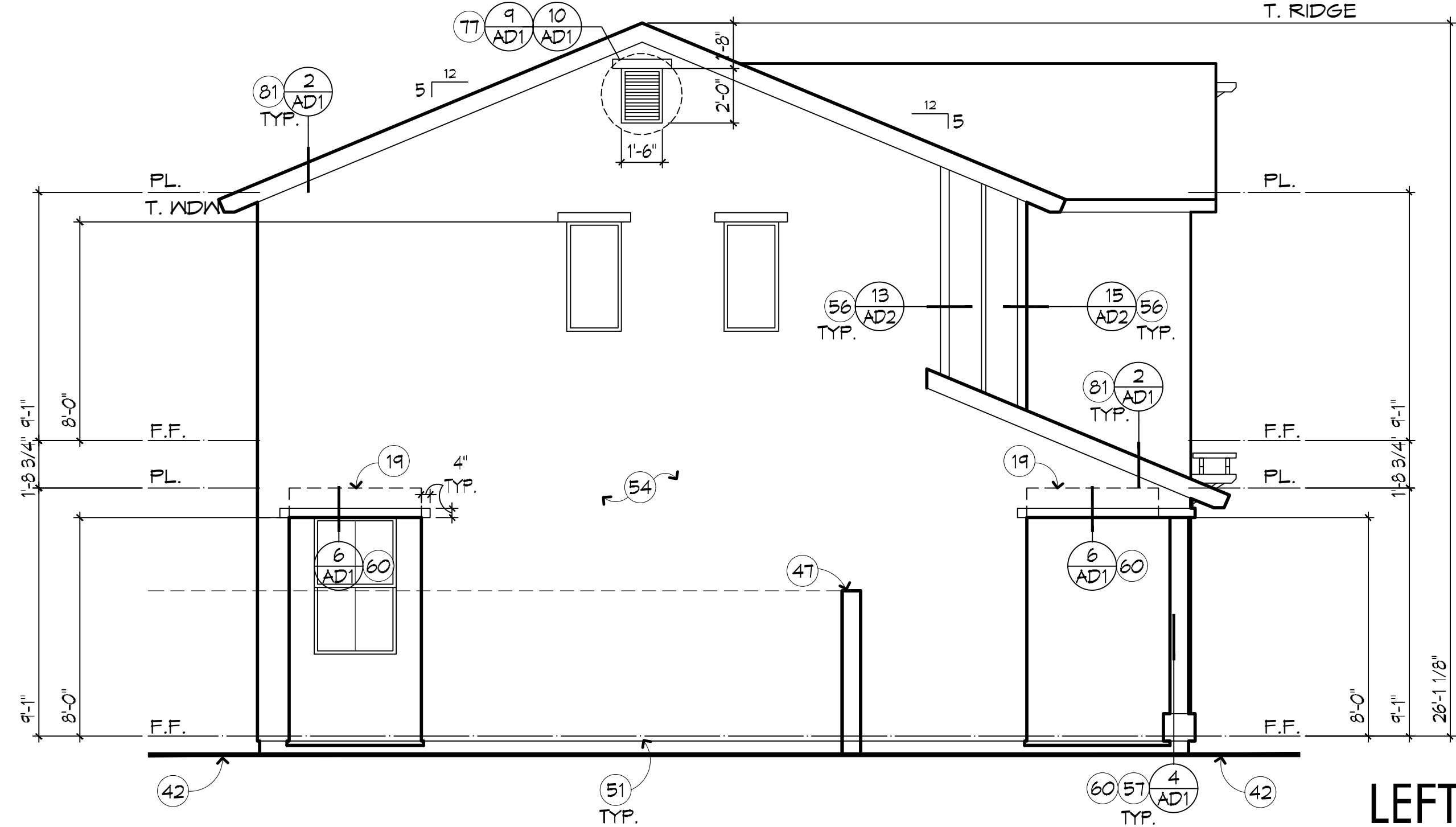
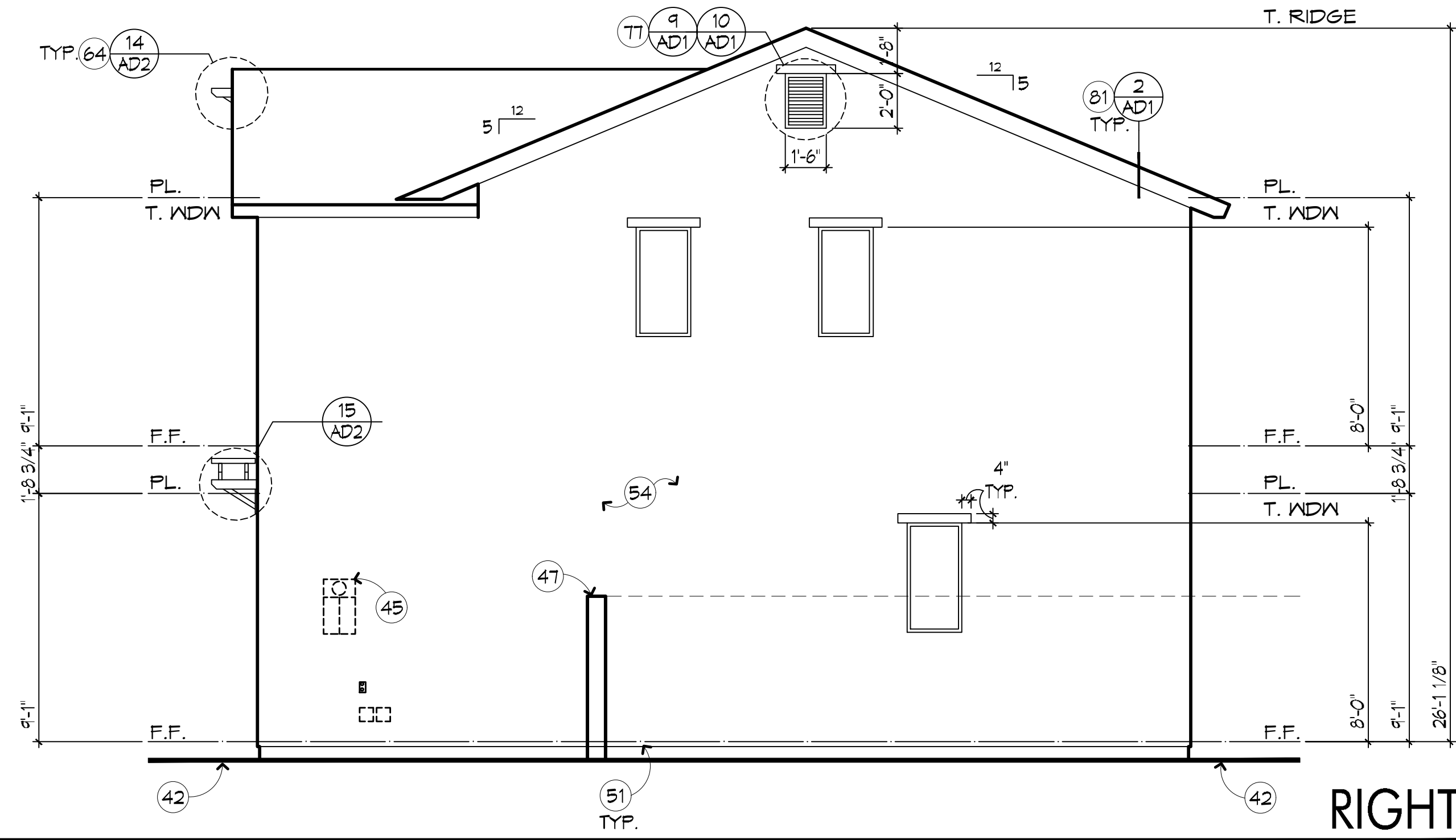
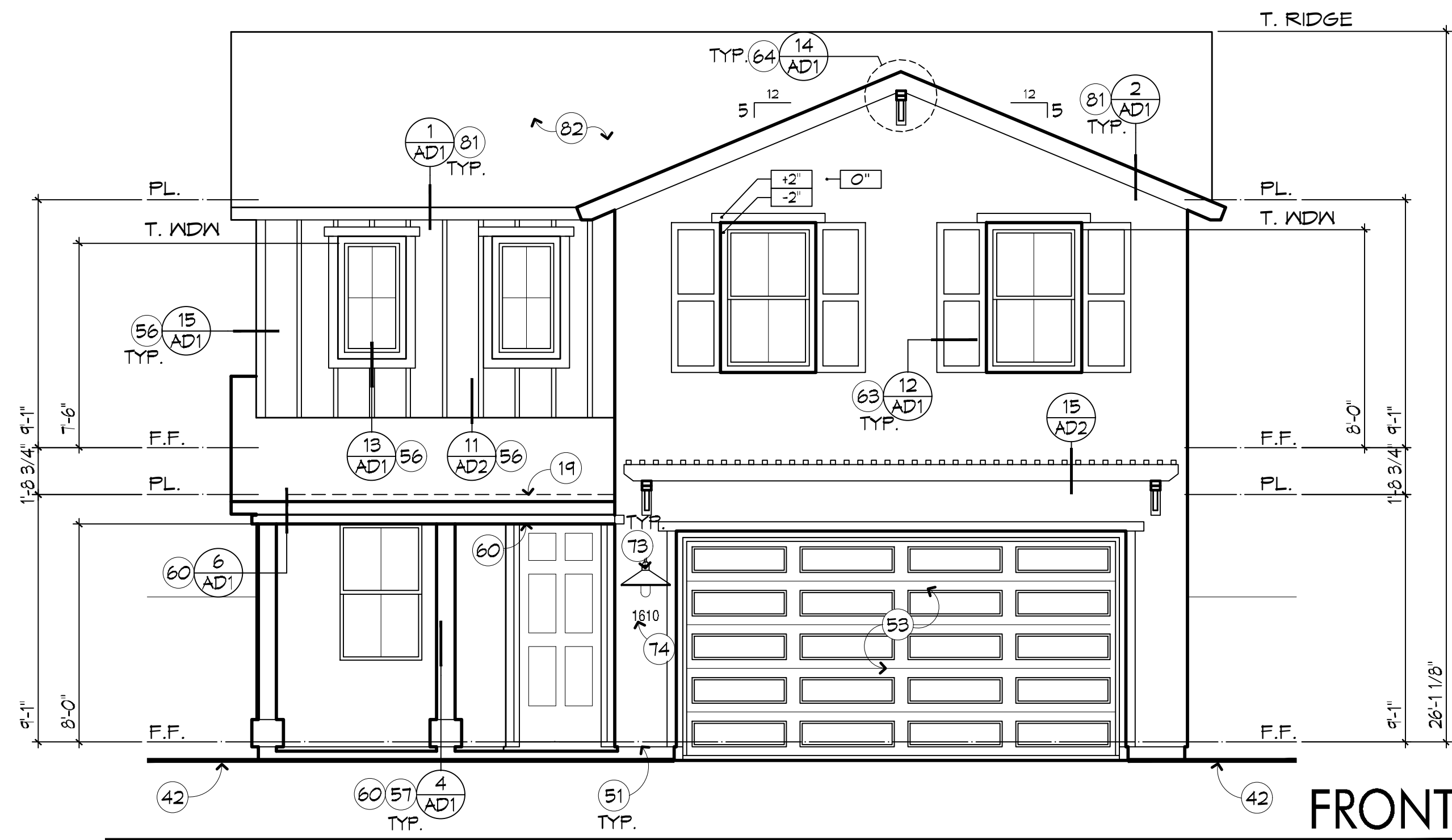
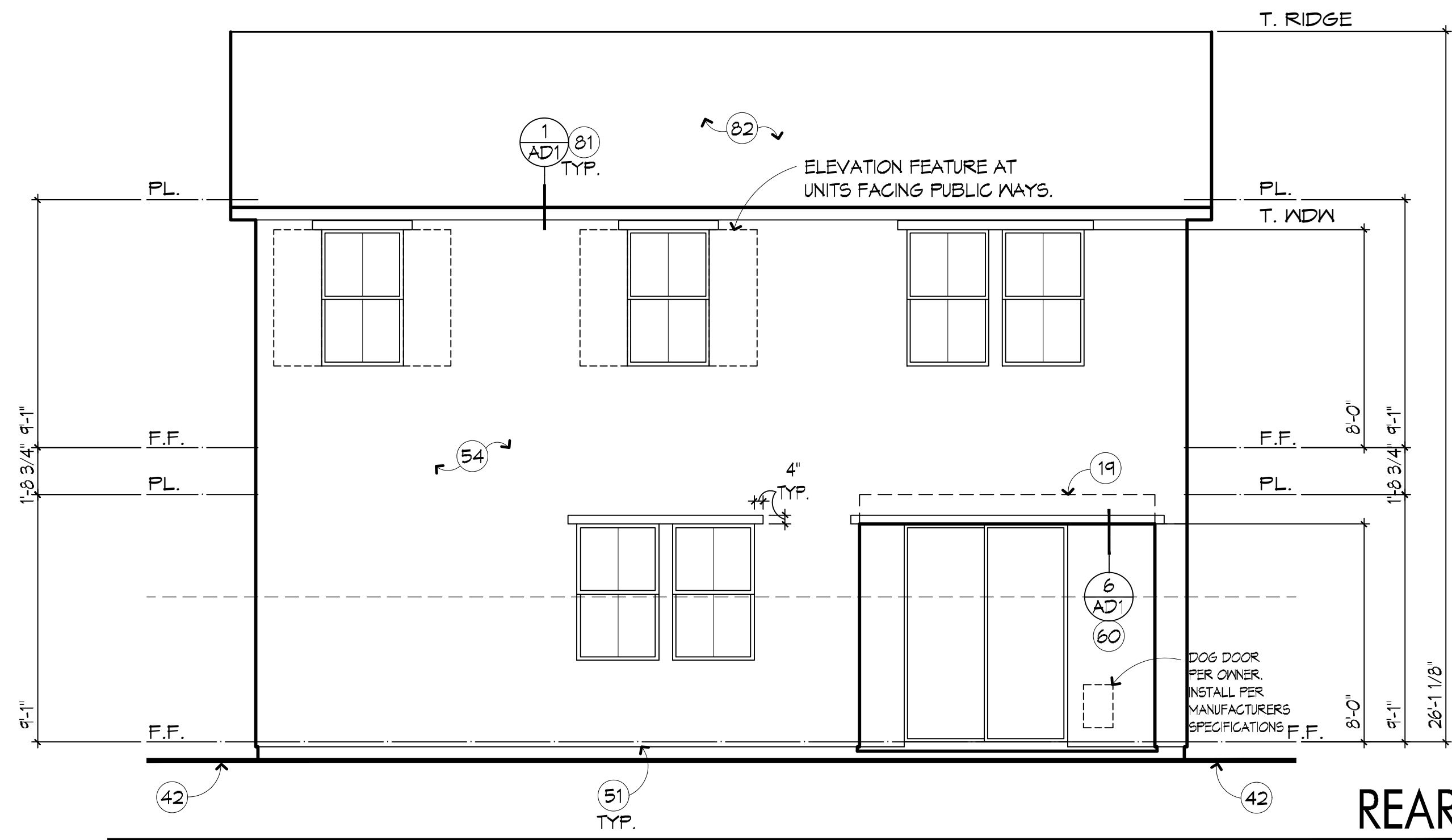
PLAN - 1589  
FIDDYMENT  
RANCH  
CITY OF COESVILLE, CALIFORNIA

FLOOR PLAN  
ELEVATION C & D

1/4" = 1'-0"

A1.1.1

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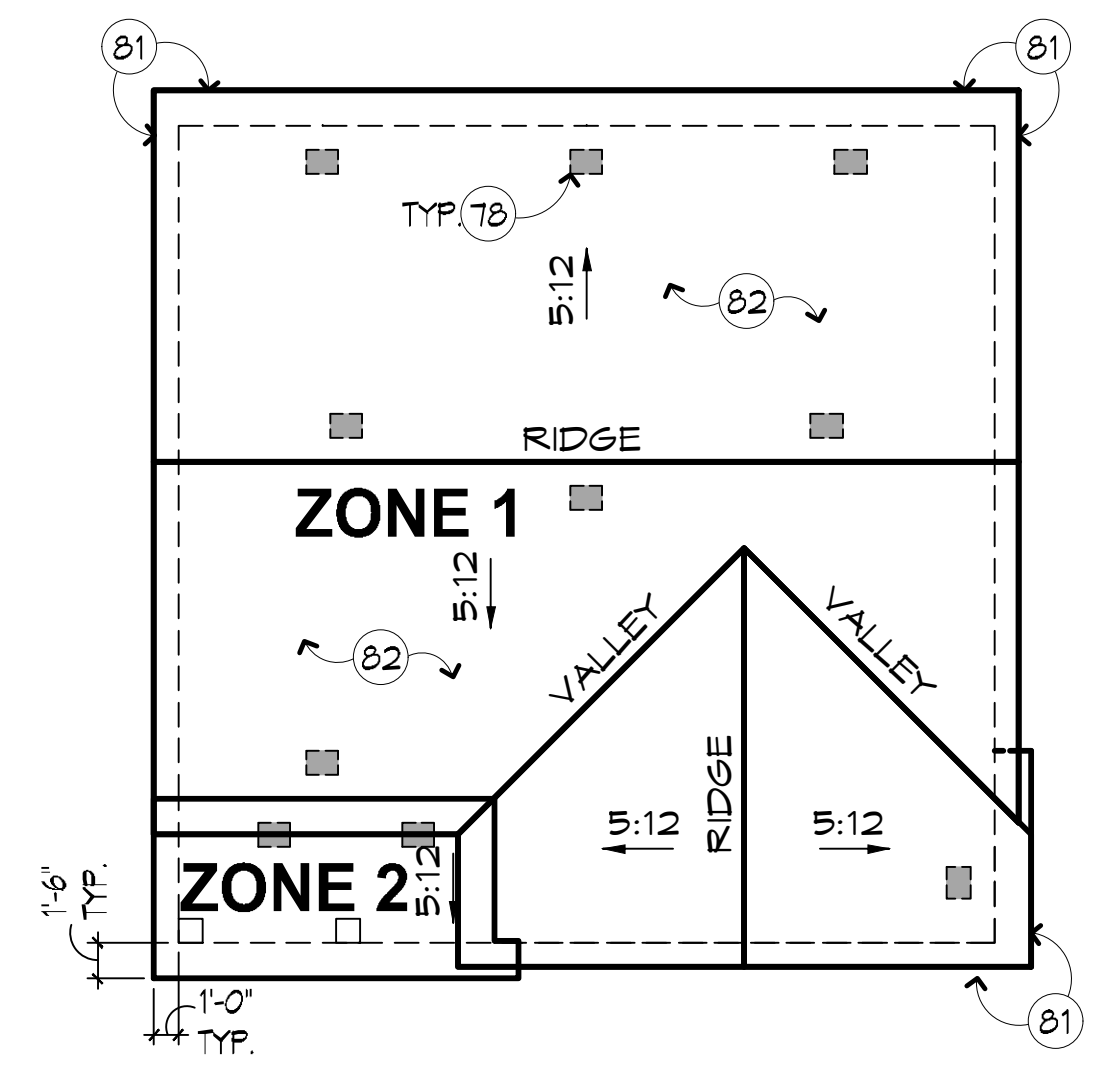
**GENERAL NOTES**

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**KEYED NOTES**

- LINE OF CEILING BEYOND.
- FINISH GRADE. SLOPE MIN. 5% AWAY FROM BUILDING.
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- SITE WALL. (FINISH TO MATCH RESIDENCE)
- METAL WEEP SCREED.
- OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
- EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
- VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
- PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
- E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
- SHUTTERS.
- CORBELS / BRACKETS.
- LIGHT FIXTURE.
- STREET ADDRESS PLAQUE.
- DECORATIVE ATTIC VENT WITH STUCCO POP-OUT.
- ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
- FASCIA / BARGE.
- HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.

ROOF VENT CALCULATIONS				
ZONE 1		ELEVATION "A"		
VENTED AREA: 1071.00 SQ. FT.		1/300 RULE		
REQUIRED: 206.78 MIN., 258.48 MAX. HIGH SQ. IN.		516.96 SQ. IN. OVERALL, 258.48 LOW SQ. IN.		
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN LOW	LOW	12.00 ea	5	360.00
O'HASHN HIGH	HIGH	12.00 ea	3	216.00
		216.00 HIGH SQ. IN.		
		360.00 LOW SQ. IN.		
VENTING PROVIDED:		576.00 SQ. IN.		
ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION "A"		
VENTED AREA: 162.93 SQ. FT.		1/150 RULE		
REQUIRED: 155.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN HIGH	HIGH	12.00 ea	3	216.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		216.00 SQ. IN.		



**ROOF PLAN** 1/8" = 1'-0"



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Project Mgr: marc m  
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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

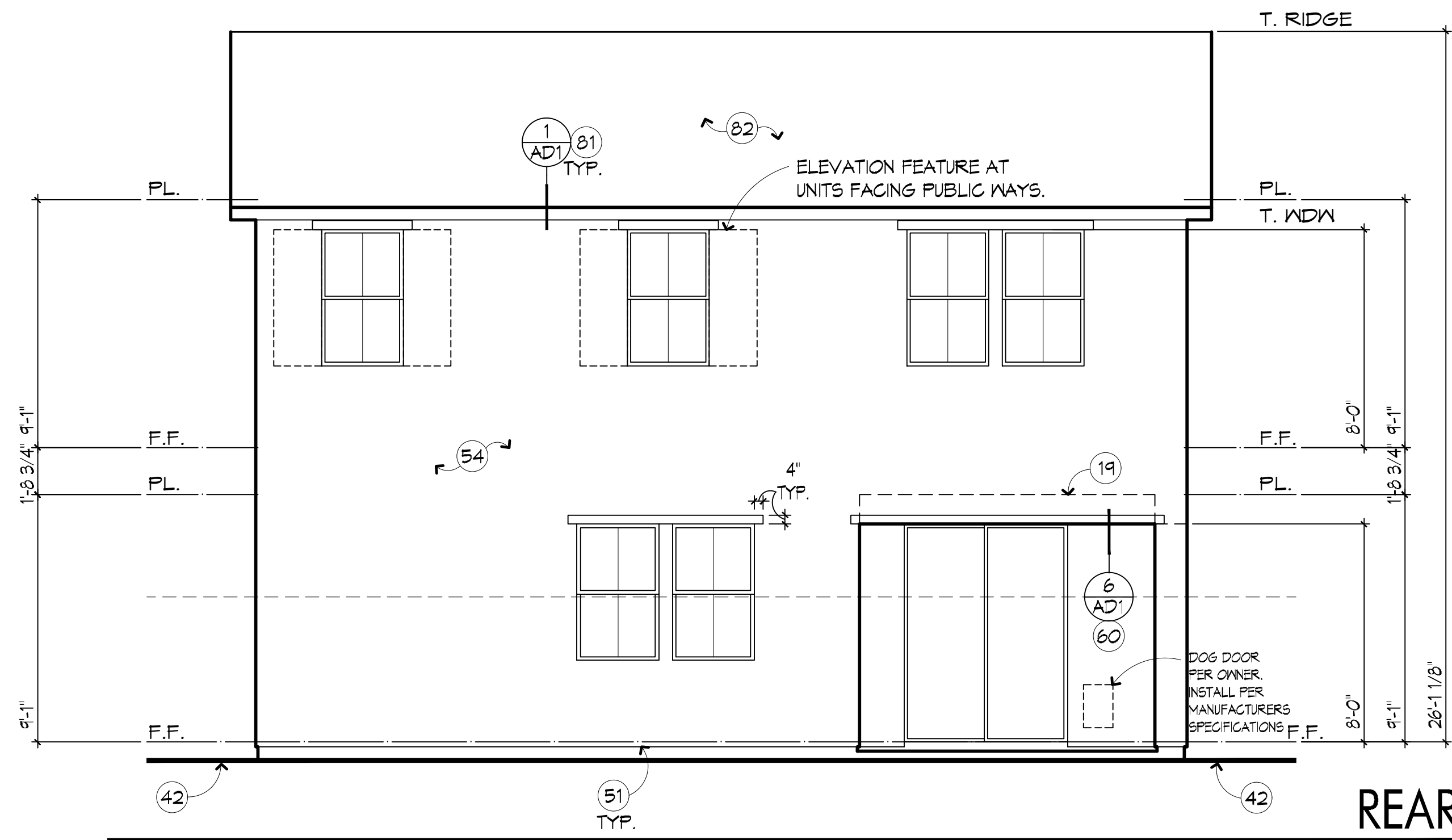
**PLAN - 1589**  
**FIDDYMENT**  
**RANCH**  
CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN A

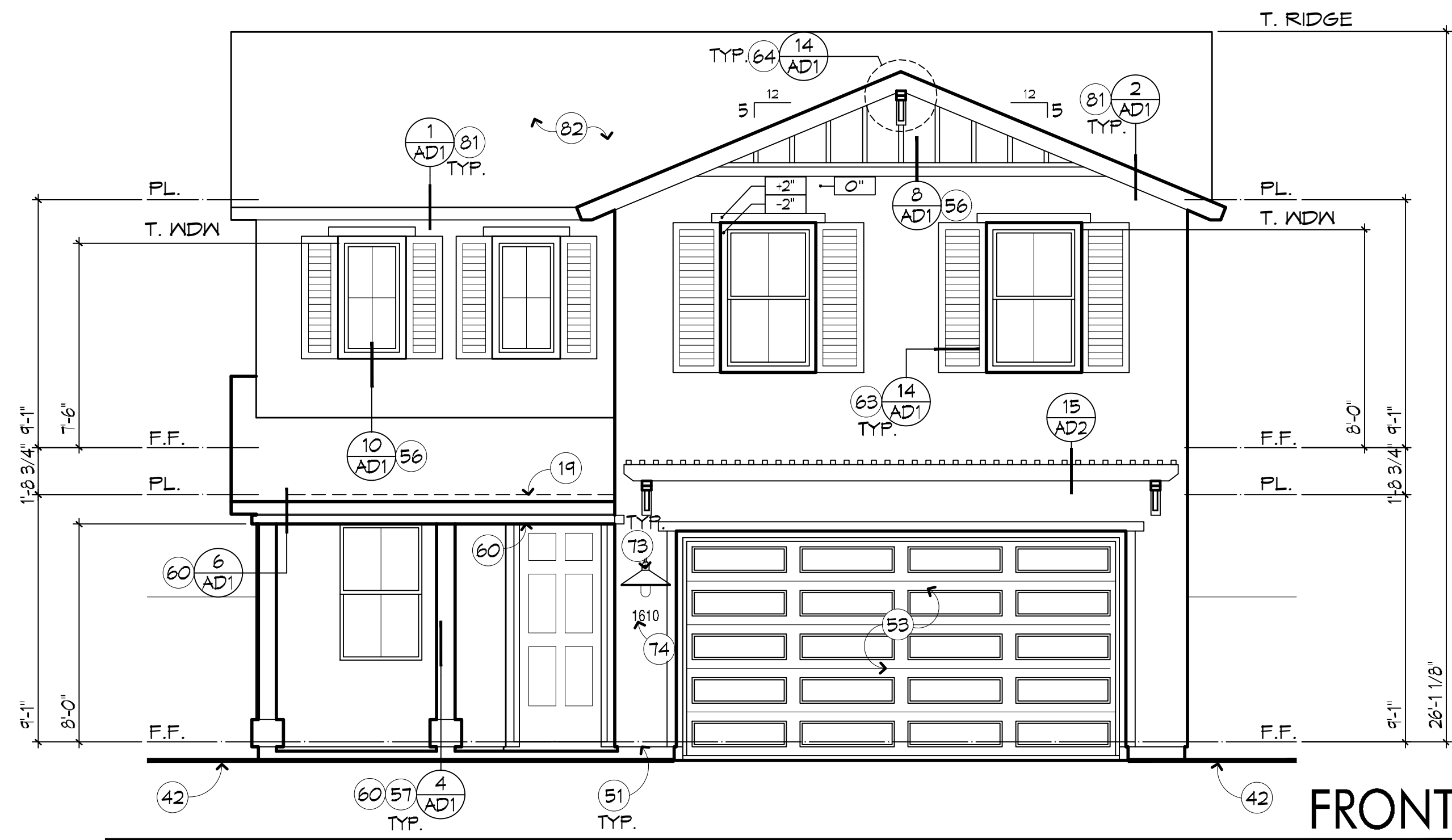
1/4" = 1'-0"

**A2.1.0**

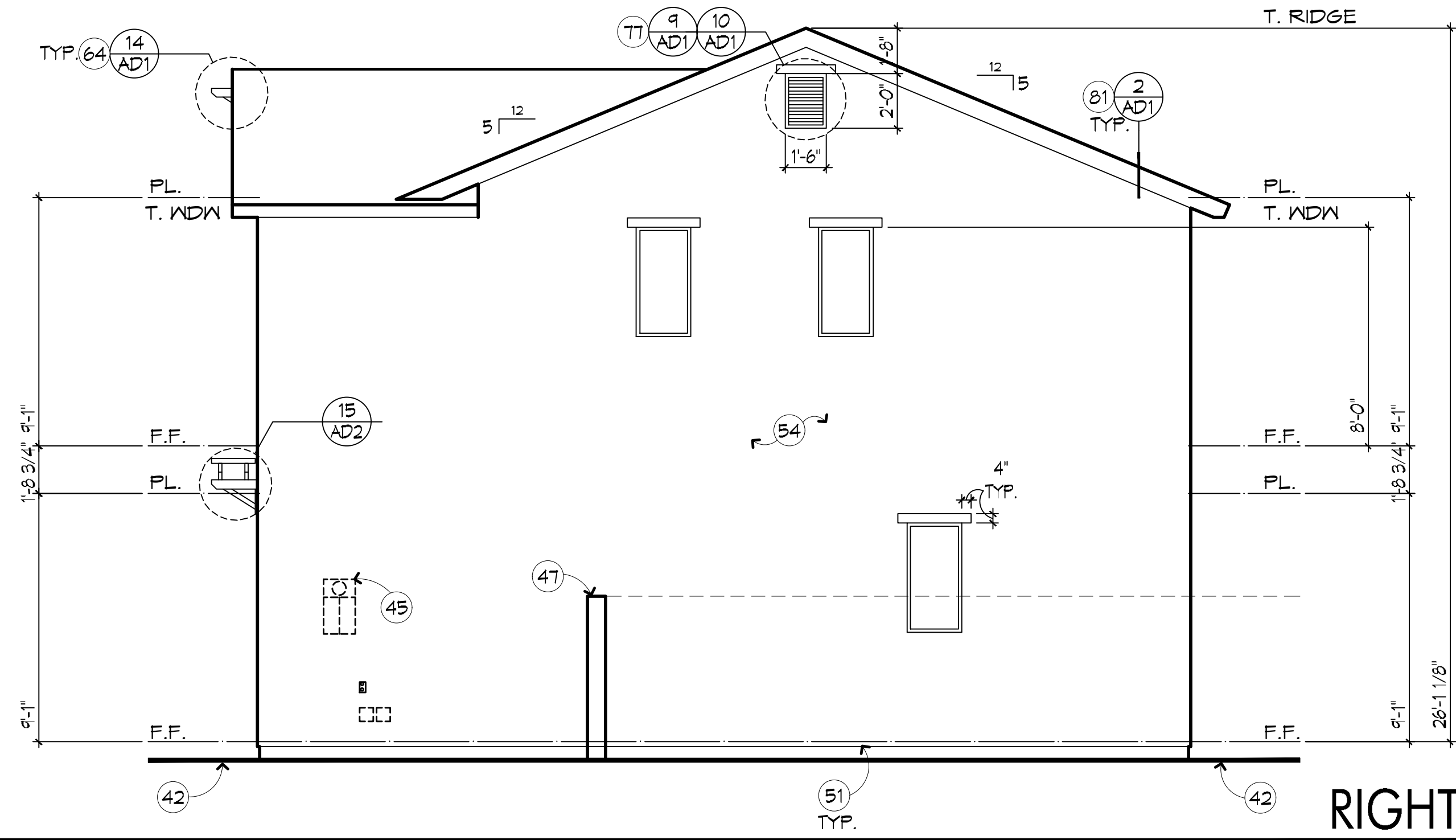
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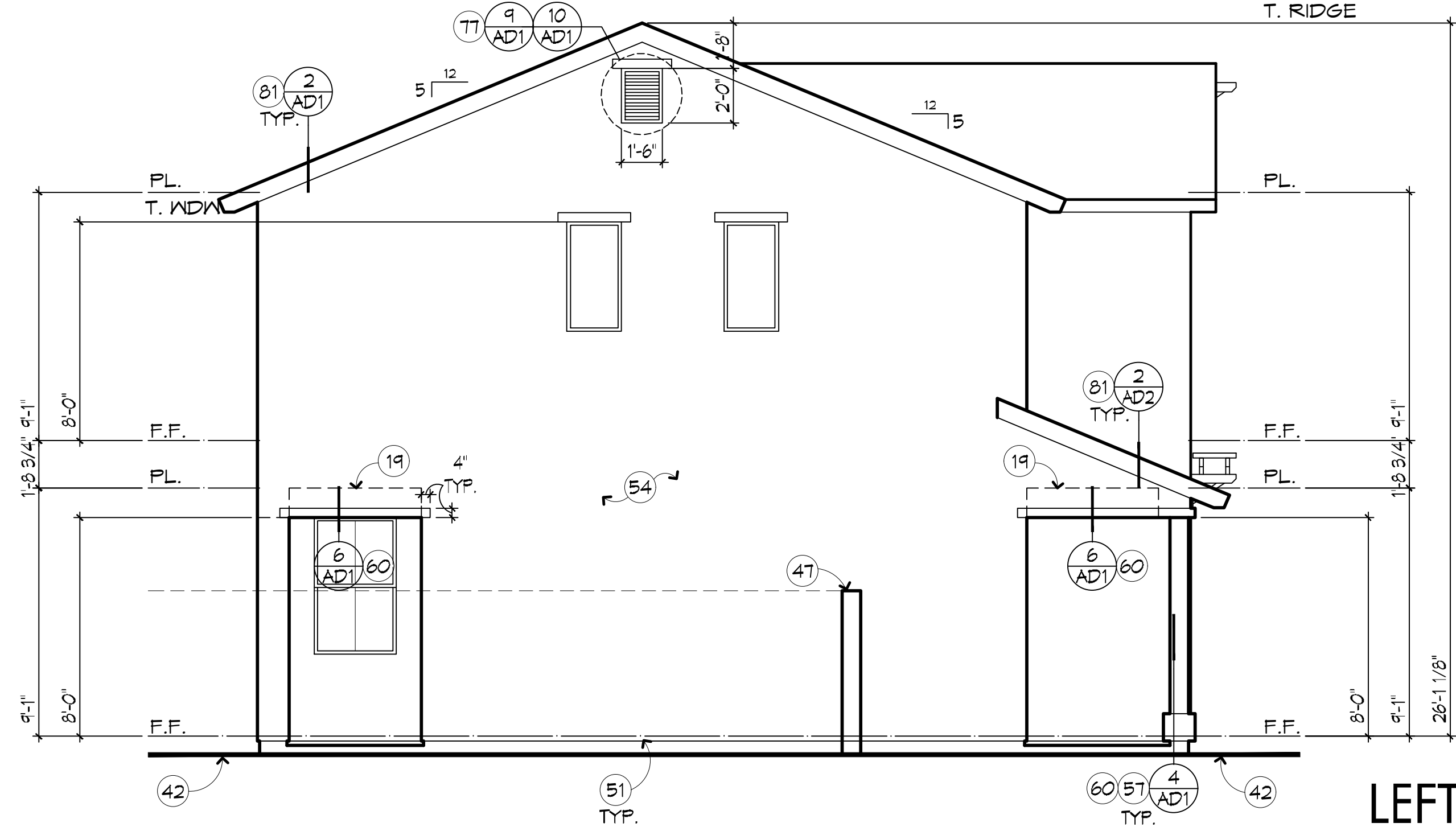
REAR



FRONT



RIGHT



LEFT

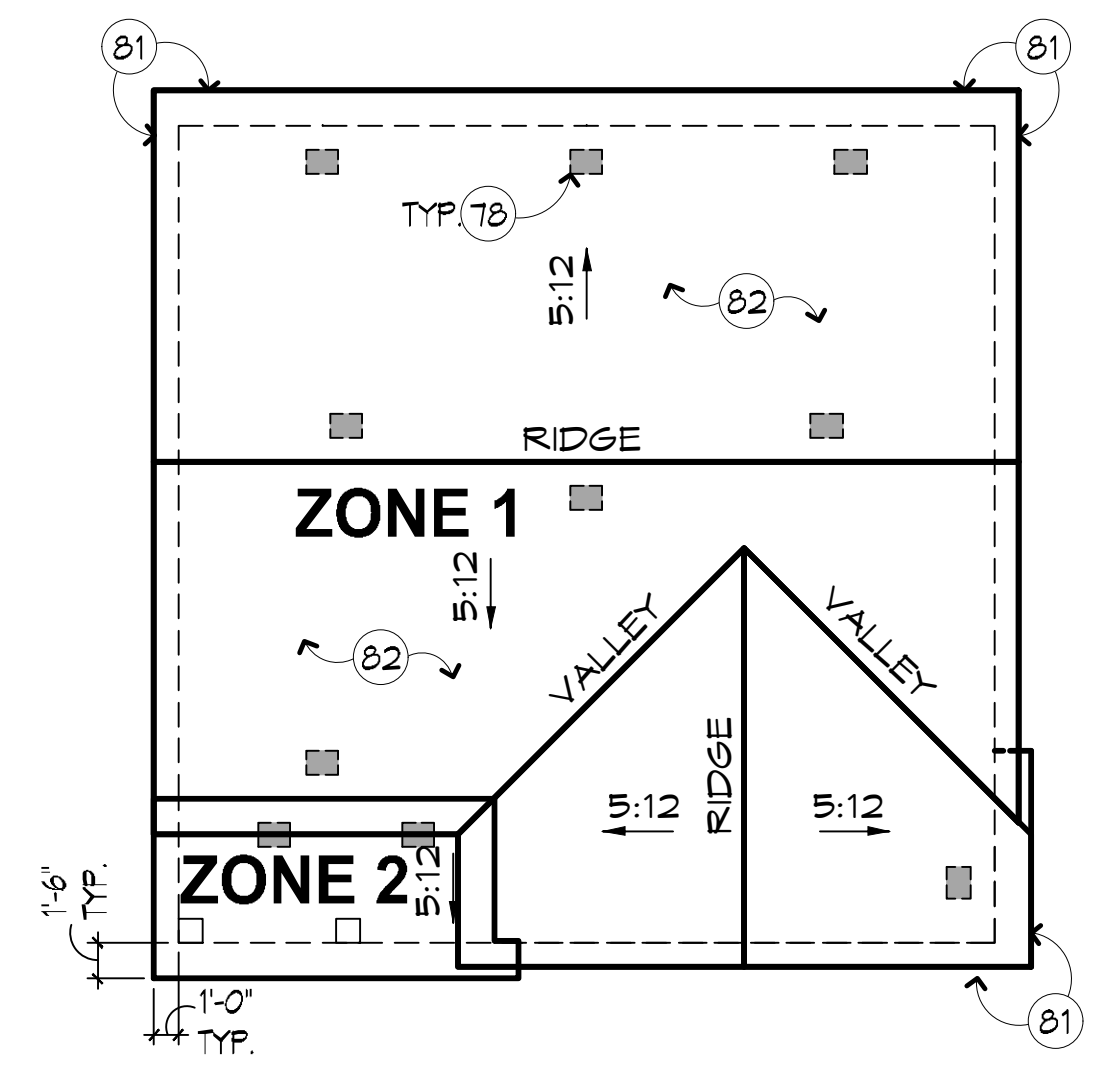
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- REFER TO ARCHITECTURAL NOTES AND BUILDER'S SPECIFICATIONS FOR MATERIALS, FINISHES, AND GENERAL CONSTRUCTION INFORMATION.
- REFER TO GD SHEET(S) FOR STANDARD ARCHITECTURAL DETAILS (WHERE PRESENT).
- ALL DOCUMENTS ARE NOT APPROVED FOR CONSTRUCTION PURPOSES UNTIL THEY HAVE BEEN REVIEWED AND APPROVED BY THE APPLICABLE JURISDICTIONS BUILDING/SAFETY DEPARTMENT. READ ALL SHEETS THOROUGHLY PRIOR TO START OF CONSTRUCTION.
- FINISH DIMENSIONS AND OFFSET REFERENCES SHOWN ARE MEASURED TO FACE OF FINISH U.N.O. REFER TO GENERAL DETAILS (GD) SHEETS FOR STANDARD DOOR / WINDOW HEADER HEIGHTS AND ADDITIONAL INFORMATION.

**KEYED NOTES**

- LINE OF CEILING BEYOND.
- FINISH GRADE. SLOPE MIN. 5% AWAY FROM BUILDING.
- UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.
- SITE WALL. (FINISH TO MATCH RESIDENCE)
- METAL WEEP SCREED.
- OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
- EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
- VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
- PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
- E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
- SHUTTERS.
- CORBELS / BRACKETS.
- LIGHT FIXTURE.
- STREET ADDRESS PLAQUE.
- DECORATIVE ATTIC VENT WITH STUCCO POP-OUT.
- ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
- FASCIA / BARGE.
- HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.

ROOF VENT CALCULATIONS				
ZONE 1		ELEVATION 'B'		
VENTED AREA: 1071.00 SQ. FT.		1/300 RULE		
REQUIRED: 206.78 MIN., 258.48 MAX. HIGH SQ. IN.		516.96 SQ. IN. OVERALL, 258.48 LOW SQ. IN.		
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHIN LOW	LOW	T2.00 ea	5	360.00
O'HASHIN HIGH	HIGH	T2.00 ea	3	216.00
		216.00 HIGH SQ. IN.		
		360.00 LOW SQ. IN.		
VENTING PROVIDED:		576.00 SQ. IN.		
ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION 'B'		
VENTED AREA: 79.00 SQ. FT.		1/150 RULE		
REQUIRED: 75.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHIN HIGH	HIGH	T2.00 ea	2	144.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		144.00 SQ. IN.		



ROOF PLAN 1/8" = 1'-0"



Linderoth Associates  
ARCHITECTS  
8135 E Indian Bend Road, Suite 103  
Scottsdale, Arizona 85250  
P480.941.0840 F480.941.1041

**PRELIMINARY**  
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JOB NUMBER: 20-003C  
Project Mgr: marc  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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△		
△		
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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

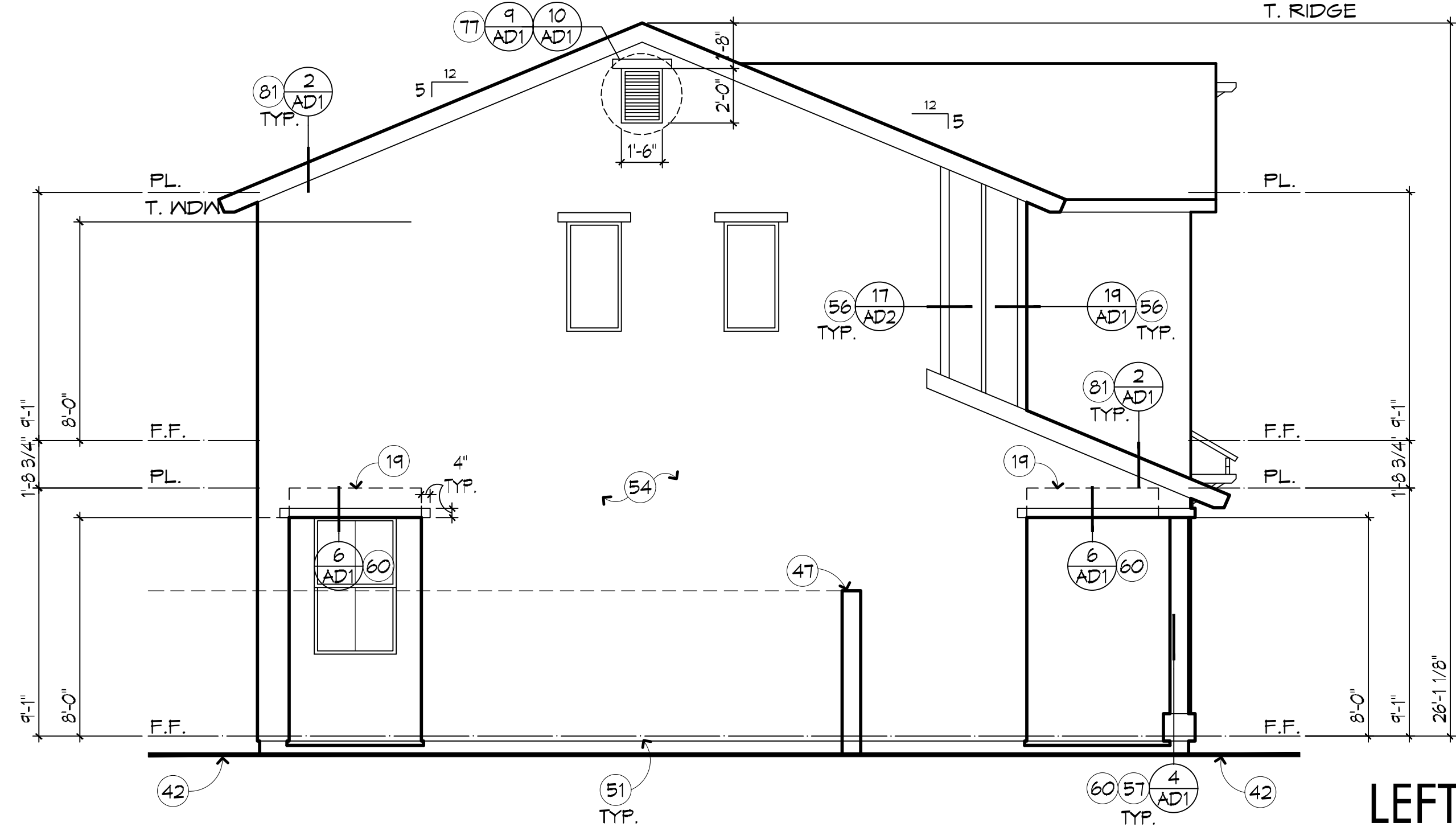
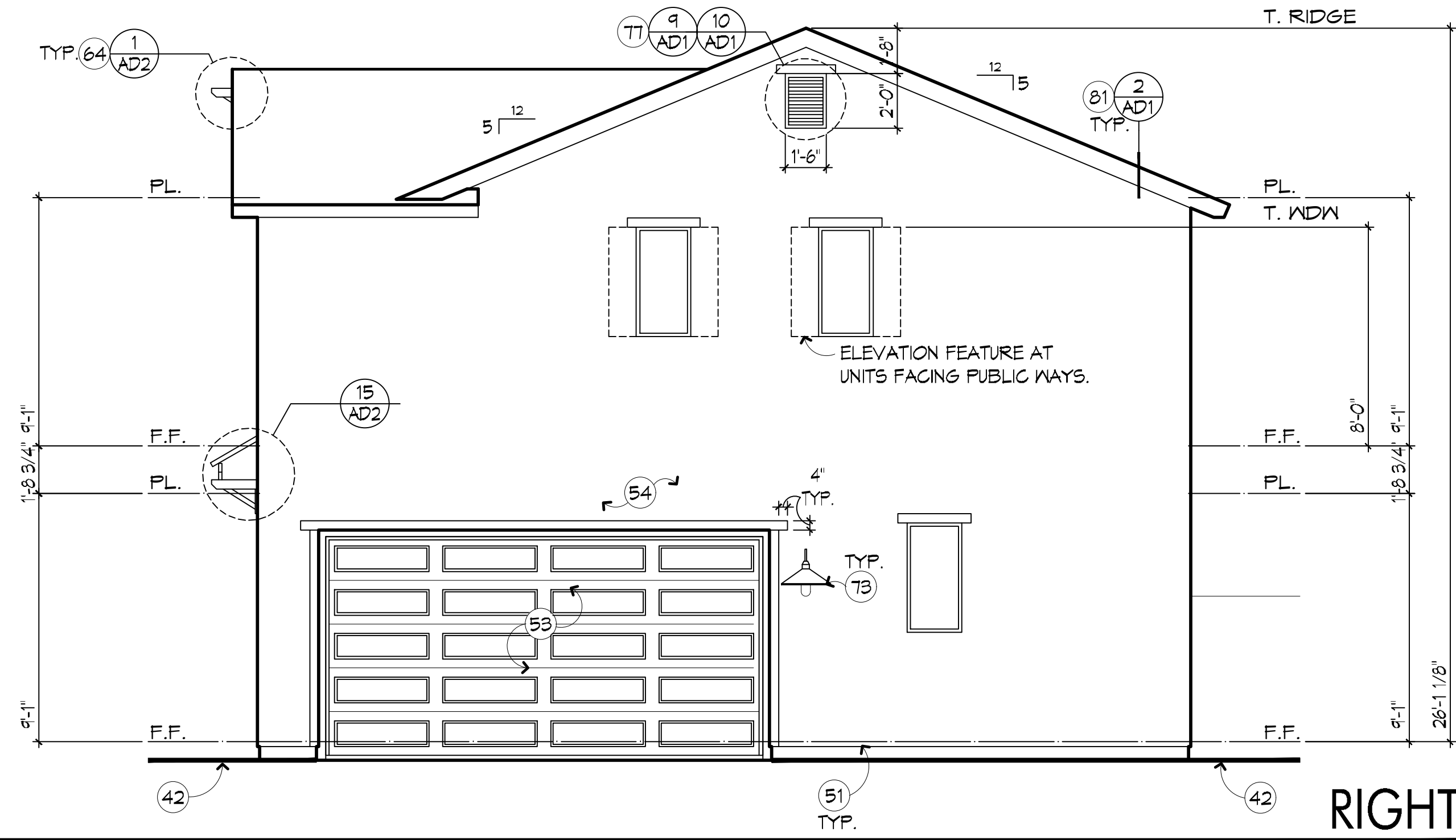
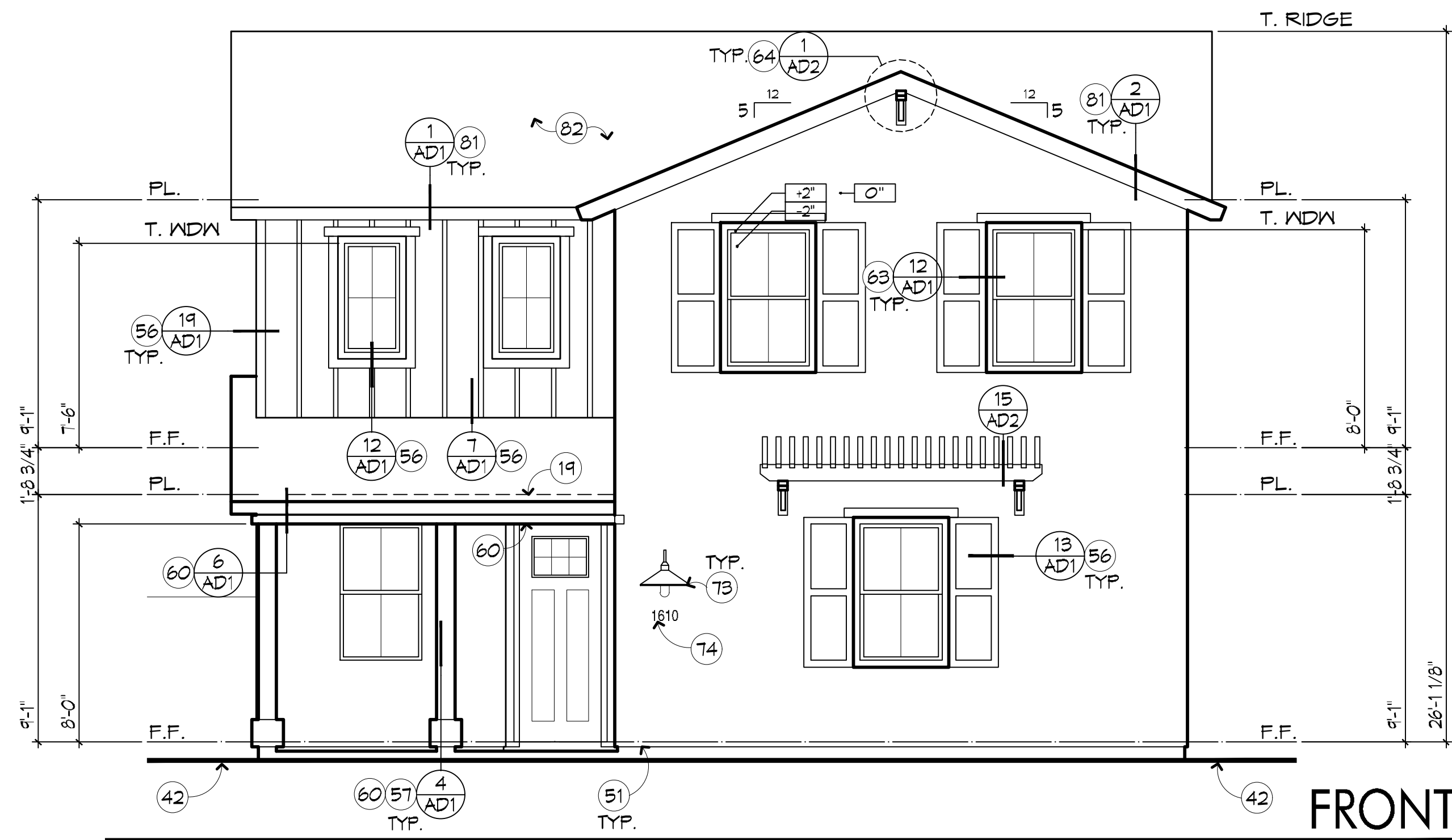
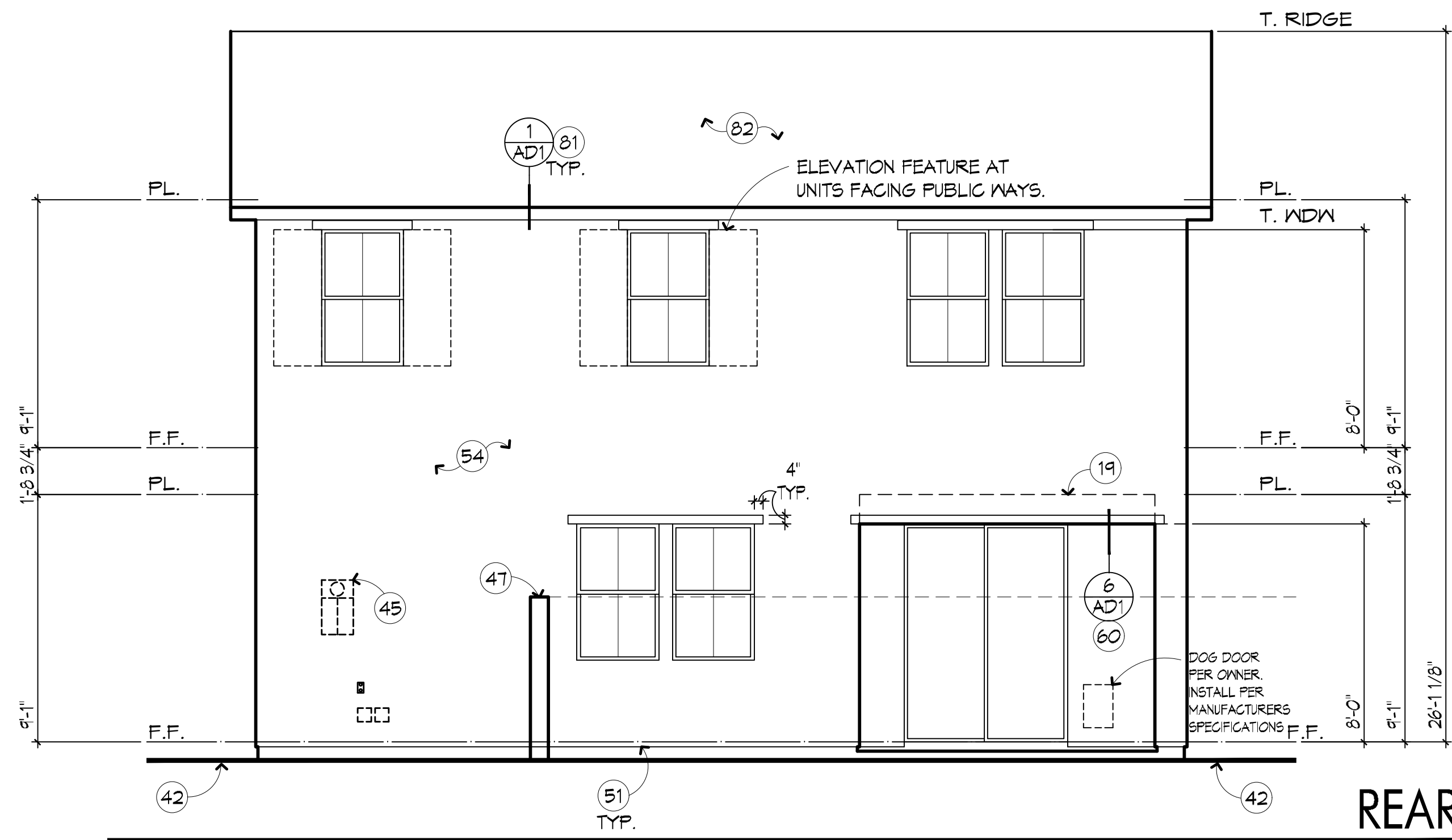
PLAN - 1589  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN B

1/4" = 1'-0"

A2.1.1

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05/21/2020 15:08:37  
07/14/2020 14:00:46



- GENERAL NOTES**
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  - FINISH DIMENSIONS AND OFFSET REFERENCES SHOWN ARE MEASURED TO FACE OF FINISH U.N.O. REFER TO GENERAL DETAILS (GD) SHEETS FOR STANDARD DOOR / WINDOW HEADER HEIGHTS AND ADDITIONAL INFORMATION.
- KEYED NOTES**
- FACE FRAME CABINET.
  - LINE OF CEILING BEYOND.
  - FINISH GRADE. SLOPE MIN. 5% AWAY FROM BUILDING.
  - UTILITY SERVICE. LOCATE EQUIPMENT AND METERS PER UTILITY COMPANY SPECIFICATIONS AND STANDARDS. CONTRACTOR TO VERIFY SERVICE BEING PROVIDED.
  - METAL WEEP SCREED.
  - OVERHEAD SECTIONAL GARAGE DOOR. REFER TO FLOOR PLAN FOR ADDITIONAL INFO.
  - EXTERIOR INSULATION FINISH SYSTEM. REFER TO ARCHITECTURAL NOTES.
  - VERTICAL BOARD AND BATT SIDING / TRIM. FINISH PER SPECIFICATION.
  - PRE-MANUFACTURED STONE/BRICK FINISH. REFER TO ARCHITECTURAL NOTES.
  - E.I.F.S. OVER 2x WOOD FRAME and/or FOAM SURROUND PROJECTION. SLOPE FOR DRAINAGE.
  - SHUTTERS.
  - CORBELS / BRACKETS.
  - LIGHT FIXTURE.
  - STREET ADDRESS PLAQUE.
  - ATTIC VENT. REFER TO ATTIC VENT CALCULATIONS FOR SIZE AND TYPE.
  - FASCIA/ BARGE.
  - HIGH SLOPE ROOF SYSTEM. REFER TO ARCHITECTURAL NOTES.

**ROOF VENT CALCULATIONS**

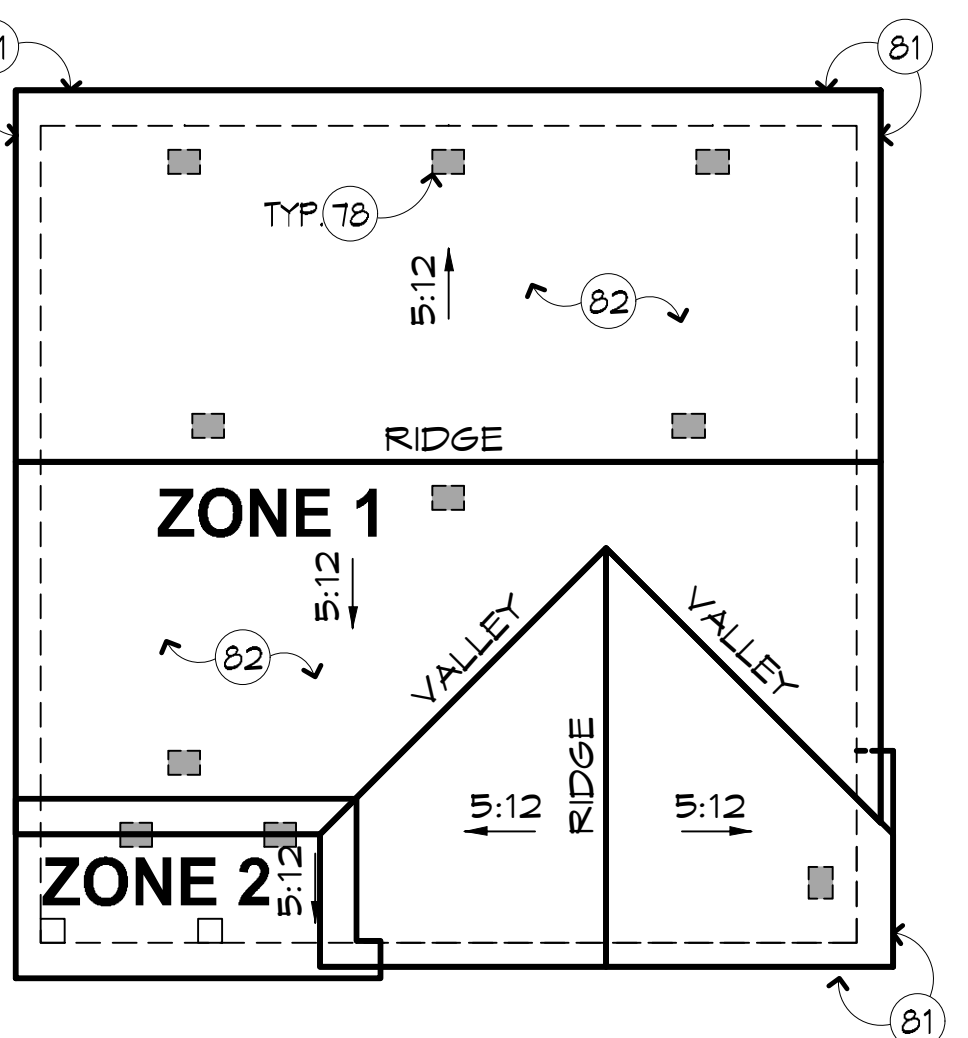
ZONE 1 ELEVATION 'C'  
 VENTED AREA: 1071.00 SQ. FT. 1/300 RULE  
 REQUIRED: 206.78 MIN., 258.48 MAX. HIGH SQ. IN.  
 516.96 SQ. IN. OVERALL, 258.48 LOW SQ. IN.

VENT	TYPE	AREA	QTY.	TOTAL
O'HASH LOW	LOW	T2.00 ea	5	360.00
O'HASH HIGH	HIGH	T2.00 ea	3	216.00
				2'6.00 HIGH SQ. IN.
				360.00 LOW SQ. IN.
VENTING PROVIDED:				576.00 SQ. IN.

**ROOF VENT CALCULATIONS**

ZONE 2 ELEVATION 'C'  
 VENTED AREA: 79.00 SQ. FT. 1/150 RULE  
 REQUIRED: 75.84 SQ. IN.

VENT	TYPE	AREA	QTY.	TOTAL
O'HASH HIGH	HIGH	T2.00 ea	2	144.00
				- HIGH SQ. IN.
				- LOW SQ. IN.
VENTING PROVIDED:				144.00 SQ. IN.



**ROOF PLAN** 1/8" = 1'-0"



**Linderoth Associates ARCHITECTS**  
 8135 E Indian Bend Road, Suite 103  
 Scottsdale, Arizona 85250  
 P480.941.0840 F480.941.1041

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JOB NUMBER: 20-003C  
 Project Mgr: marcm  
 ISSUE DATE:  
 06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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**Curve DEVELOPMENT**  
 6263 N SCOTTSDALE ROAD  
 SUITE 216  
 SCOTTSDALE, ARIZONA 85250  
 480.568.8720

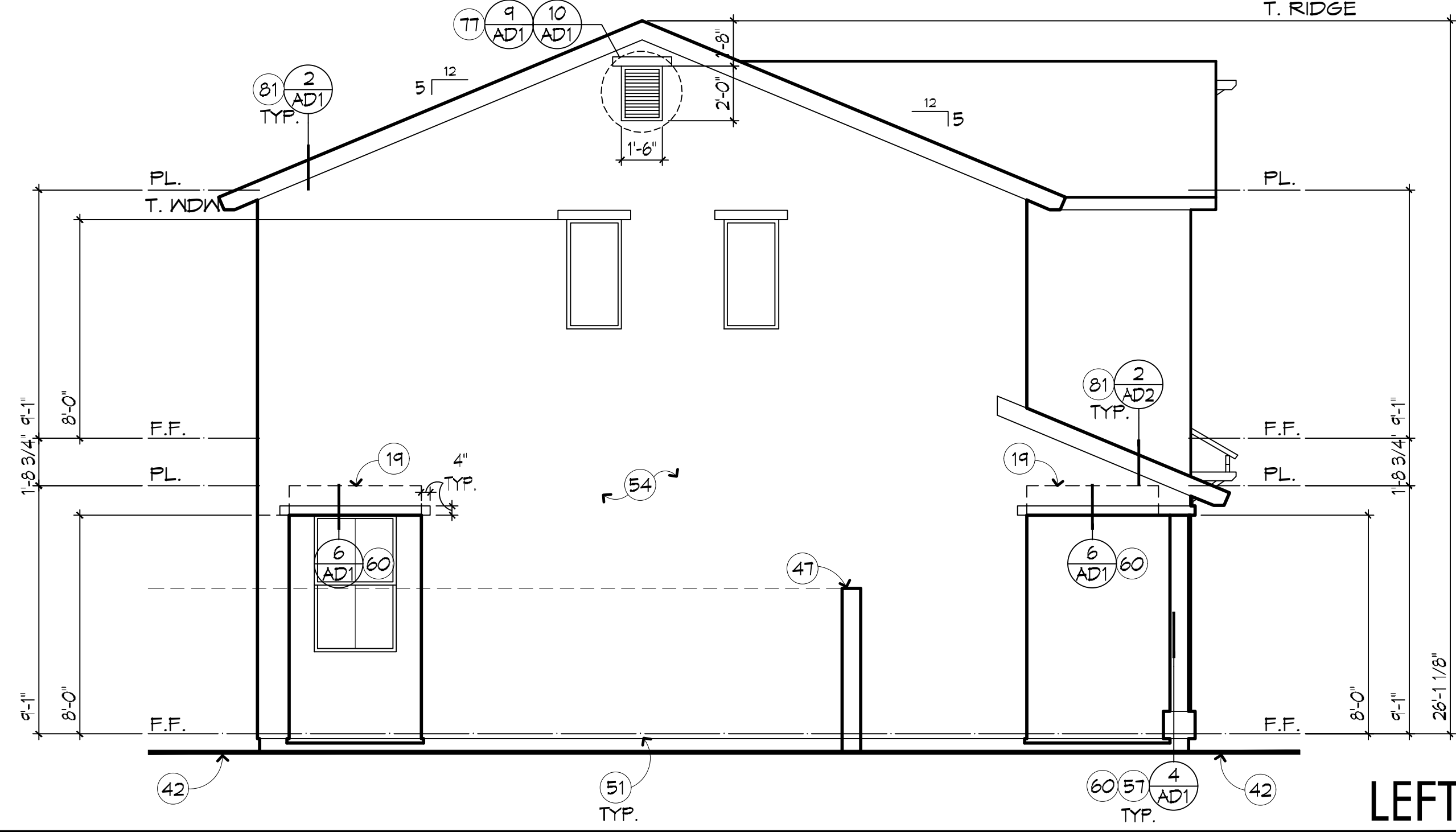
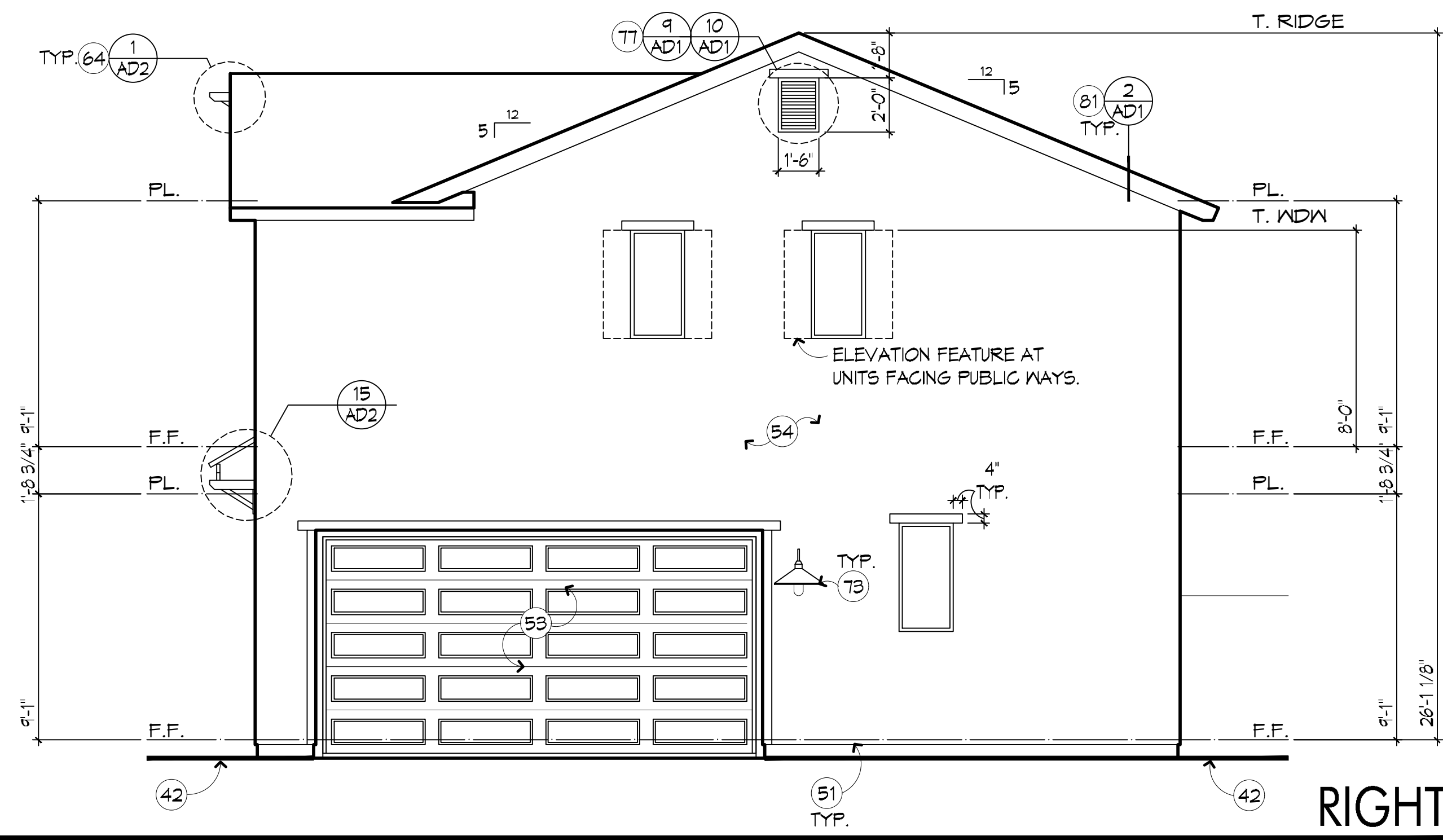
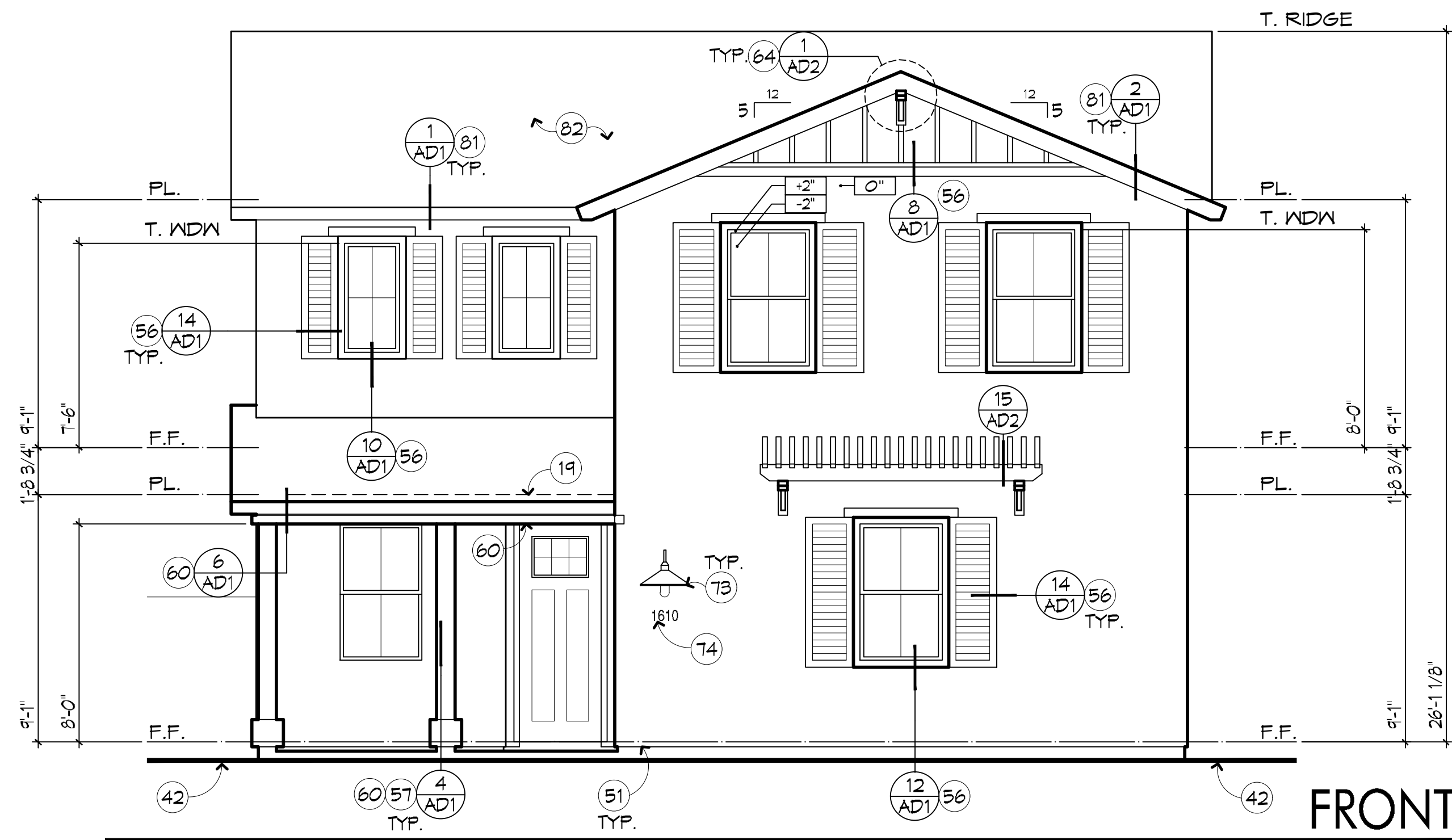
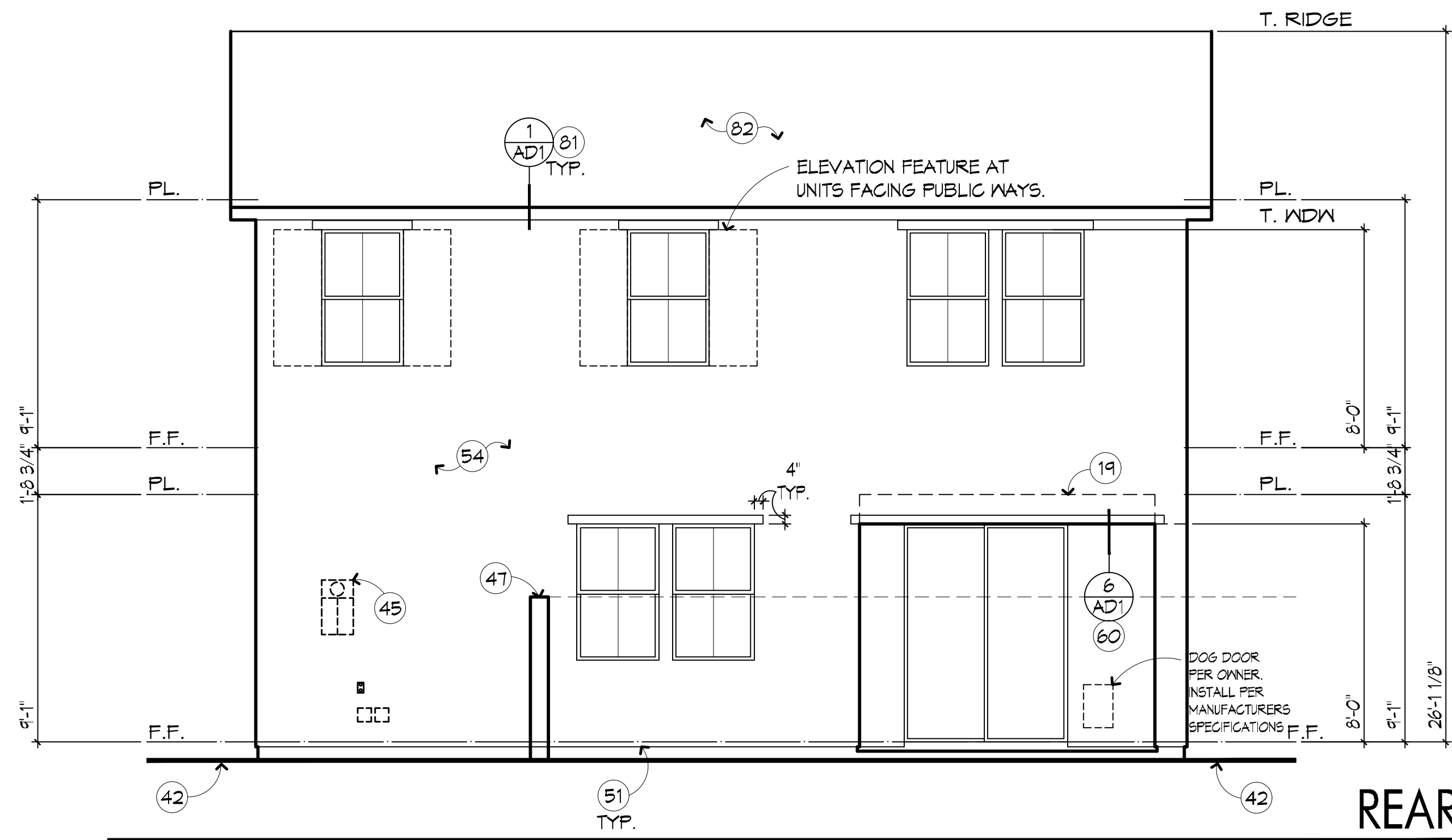
**PLAN - 1589 FIDDYMENT RANCH**  
 CITY OF COSVILLE, CALIFORNIA

**EXTERIOR ELEVATIONS & ROOF PLAN C**

1/4" = 1'-0"

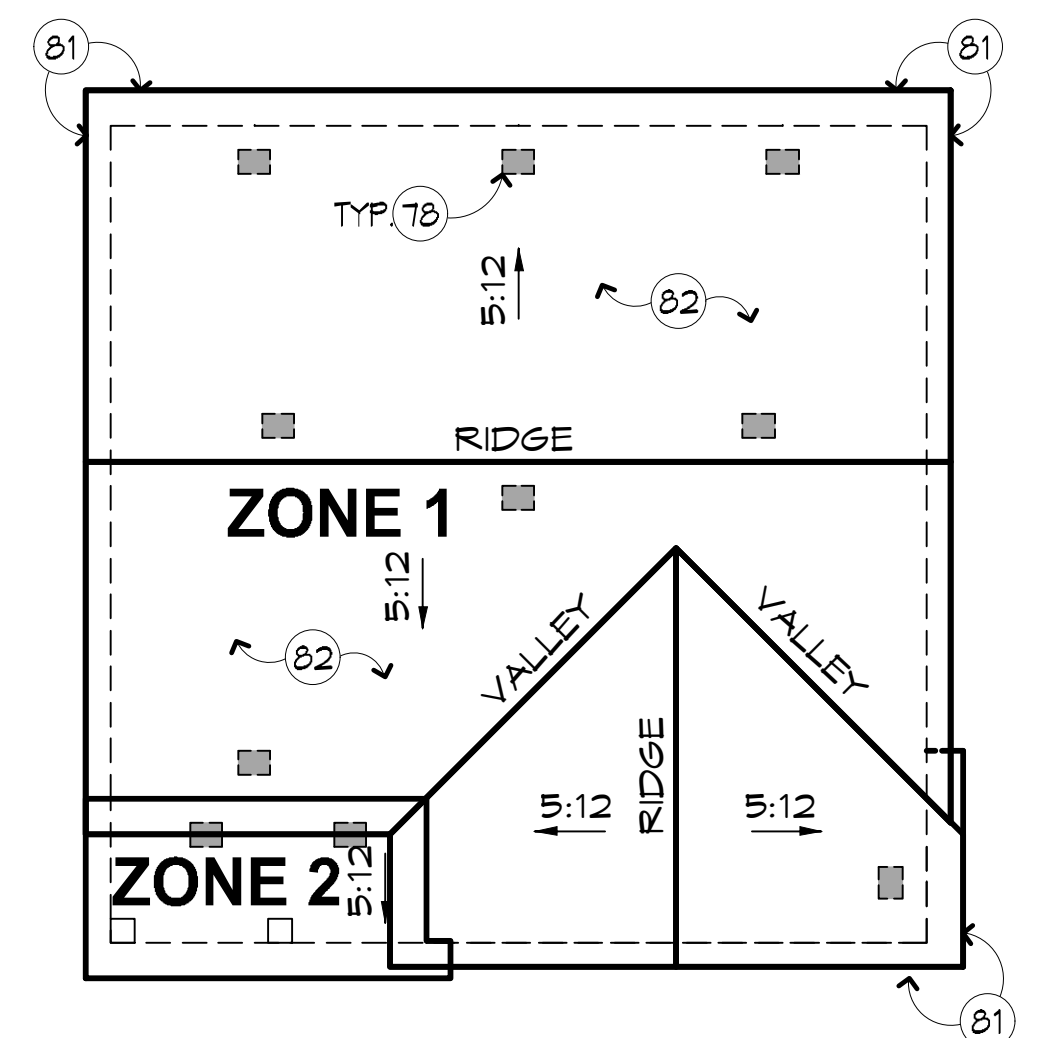
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- GENERAL NOTES**
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ROOF VENT CALCULATIONS				
ZONE 1		ELEVATION 'C'		
VENTED AREA: 1071.00 SQ. FT.		1/300 RULE		
REQUIRED: 206.78 MIN., 258.48 MAX. HIGH SQ. IN.				
516.96 SQ. IN. OVERALL, 258.48 LOW SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN LOW	LOW	T2.00 ea	5	360.00
O'HASHN HIGH	HIGH	T2.00 ea	3	216.00
		2'16.00 HIGH SQ. IN.		
		360.00 LOW SQ. IN.		
VENTING PROVIDED:		576.00 SQ. IN.		
ROOF VENT CALCULATIONS				
ZONE 2		ELEVATION 'C'		
VENTED AREA: 79.00 SQ. FT.		1/150 RULE		
REQUIRED: 75.84 SQ. IN.				
VENT	TYPE	AREA	QTY.	TOTAL
O'HASHN HIGH	HIGH	T2.00 ea	2	144.00
		- HIGH SQ. IN.		
		- LOW SQ. IN.		
VENTING PROVIDED:		144.00 SQ. IN.		



**ROOF PLAN** 1/8" = 1'-0"



Linderoth Associates  
ARCHITECTS  
8135 E Indian Bend Road, Suite 103  
Scottsdale, Arizona 85250  
P480.941.0840 F480.941.1041

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JOB NUMBER: 20-003C  
Project Mgr: marc m  
ISSUE DATE:  
06-24-2020 Initial Submittal

MARK	DATE	COMMENT
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**Curve**  
DEVELOPMENT  
6263 N SCOTTSDALE ROAD  
SUITE 216  
SCOTTSDALE, ARIZONA 85250  
480.568.8720

**PLAN - 1589**  
FIDDYMENT  
RANCH  
CITY OF COSVILLE, CALIFORNIA

EXTERIOR  
ELEVATIONS &  
ROOF PLAN D

1/4" = 1'-0"

**A2.1.3**

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